



vocon.

19621 LAKE ROAD  
COMMERCIAL OFFICE BUILDING DEVELOPMENT

APRIL 4, 2023

LAKE ROAD ROCKY RIVER LLC  
**19621 LAKE ROAD**



EXISTING CONTEXT



- PROPERTY LINE
- AREA ZONED R-5
- AREA ZONED LB



# EXISTING CONTEXT



19537 Lake Road (East of Site)



North of site on Lake Road



19765 Lake Road (West of Site)



Beachcliff Row at intersection of Linda St. and Lake Road



Existing site from railroad tracks



1250 Linda Street - 3 story office use



# ZONING MAP

# ROCKY RIVER, OHIO

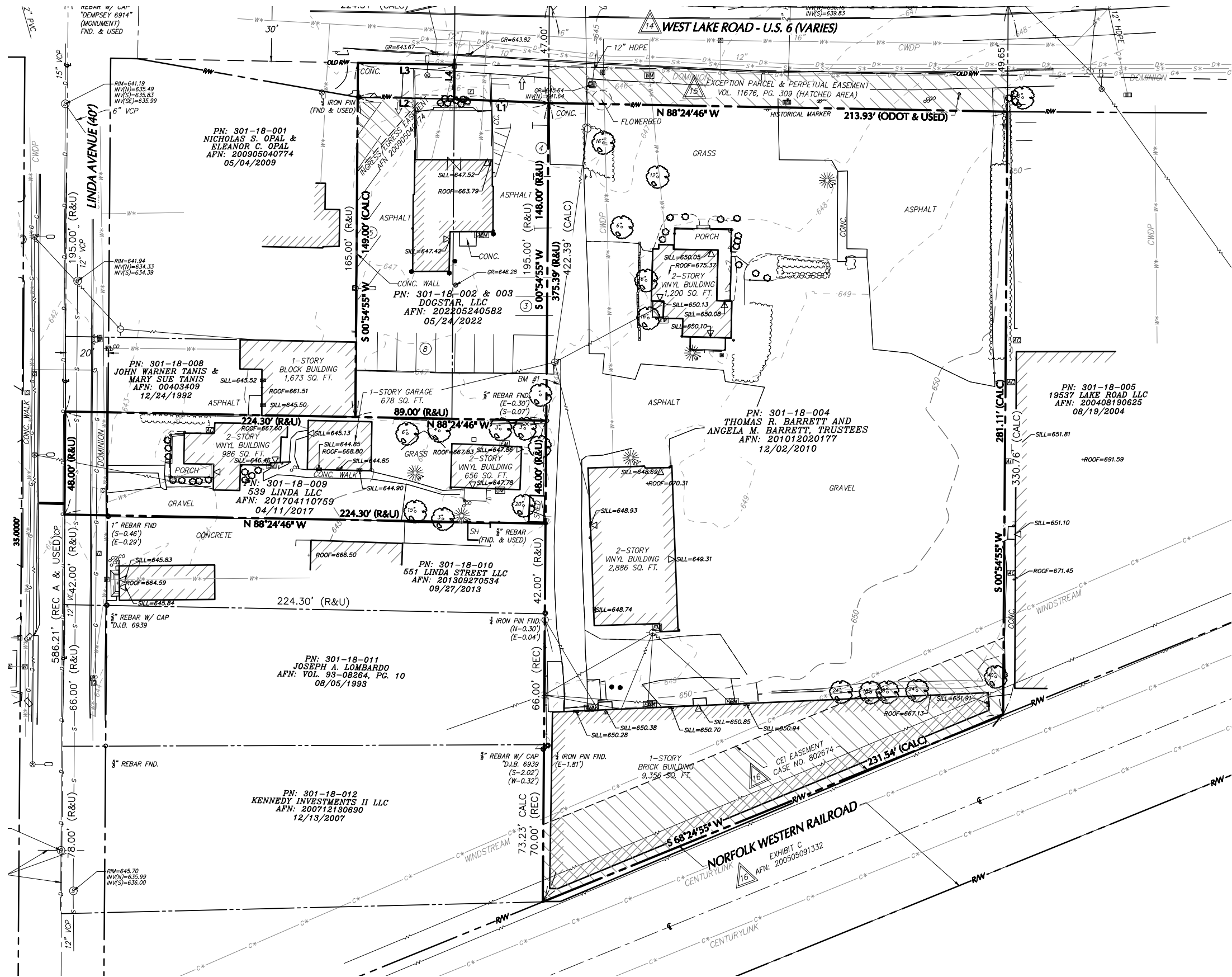


- PROPERTY LINE
- AREA ZONED R-5
- AREA ZONED LB





# EXISTING SURVEY



**BASIS OF BEARINGS**  
 MERIDIAN IS REFERENCED TO OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 83, PER GPS OBSERVATIONS IN JANUARY, 2023.

**DATUM**  
 VERTICAL DATUM IS NAVD 88 OBTAINED FROM GPS OBSERVATIONS ON 01/12/23

**BENCHMARK**  
 BM 1 - PIN & CAP, ELEV=648.04  
 BM 2 - MAG NAIL, ELEV=648.63

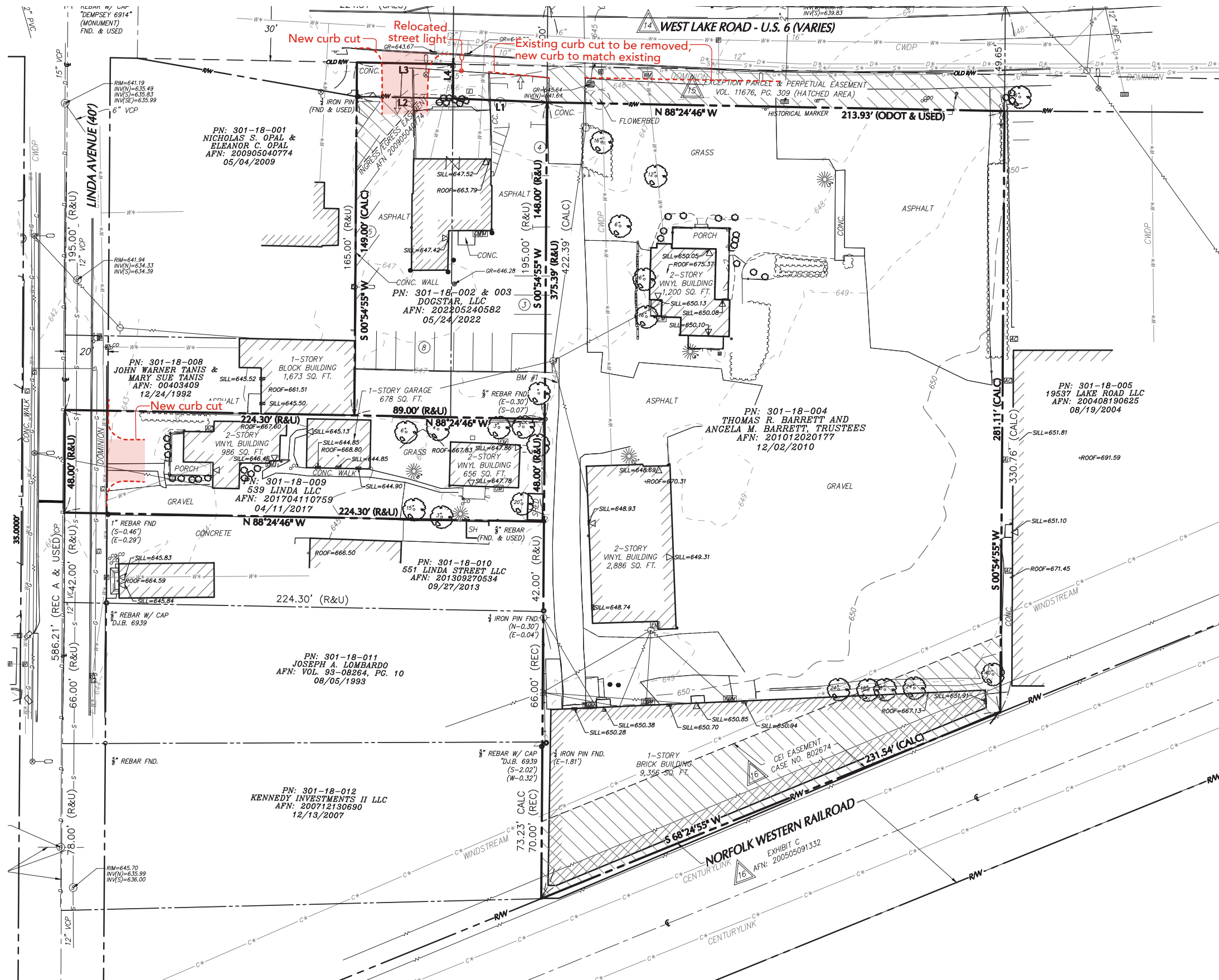
**LEGEND (NOT SHOWN TO SCALE)**

⊗	MONUMENTATION FOUND (TYPE AS NOTED)	REC.	DEED OF RECORD
●	SET 3/4" X 30" STEEL PIN WITH CAP "LANGAN"	AC.	ACRES
○	SET DRILL HOLE	SQ. FT.	SQUARE FEET
⊙	BOLLARD	PN	PARCEL NUMBER
⊖	STREET LIGHT	INST.	INSTRUMENT NUMBER
⊕	POWER POLE	EP	EDGE OF PAVEMENT
⊗	GUY WIRE	---	SUBJECT PROPERTY LINE
⊗	MANHOLE (TYPE AS LABELED)	---	ADJOINING PROPERTY LINE
⊗	WATER VALVE	---	EASEMENT LINE
⊗	GAS VALVE	---	TREE LINE
⊗	UNKNOWN VALVE	---	GUIDE RAIL (TYPE AS NOTED)
⊗	CATCH BASIN	ST-ST	STEAM LINE
⊗	CLEAN OUT	---	OVERHEAD WIRE
⊗	SIGN	COMB	COMBINED SEWER LINE
⊗	ELECTRIC BOX	G	GAS LINE
⊗	ELECTRIC METER	W	WATER LINE
⊗	GAS METER	E	ELECTRIC LINE
⊗	WATER METER	T	COMMUNICATION LINE
⊗	TELEPHONE BOX	S	SANITARY LINE
⊗	FENCE (TYPE AS NOTED)	D	DRAINAGE LINE
		X*	REFERENCE UTILITY LINE (TYPE AS NOTED) - PLOTTED FROM EXISTING MAPPING





# EXISTING SITE - PROPOSED DEMOLITION PLAN



## BASIS OF BEARINGS

MERIDIAN IS REFERENCED TO OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 83, PER GPS OBSERVATIONS IN JANUARY, 2023.

## DATUM

VERTICAL DATUM IS NAVD 88 OBTAINED FROM GPS OBSERVATIONS ON 01/12/23

## BENCHMARK

BM 1 - PIN & CAP, ELEV=648.04  
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⊕	POWER POLE	EP	EDGE OF PAVEMENT
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⊕	FENCE (TYPE AS NOTED)	D	DRAINAGE LINE
---	---	X*	REFERENCE UTILITY LINE (TYPE AS NOTED) - PLOTTED FROM EXISTING MAPPING

## NORTH

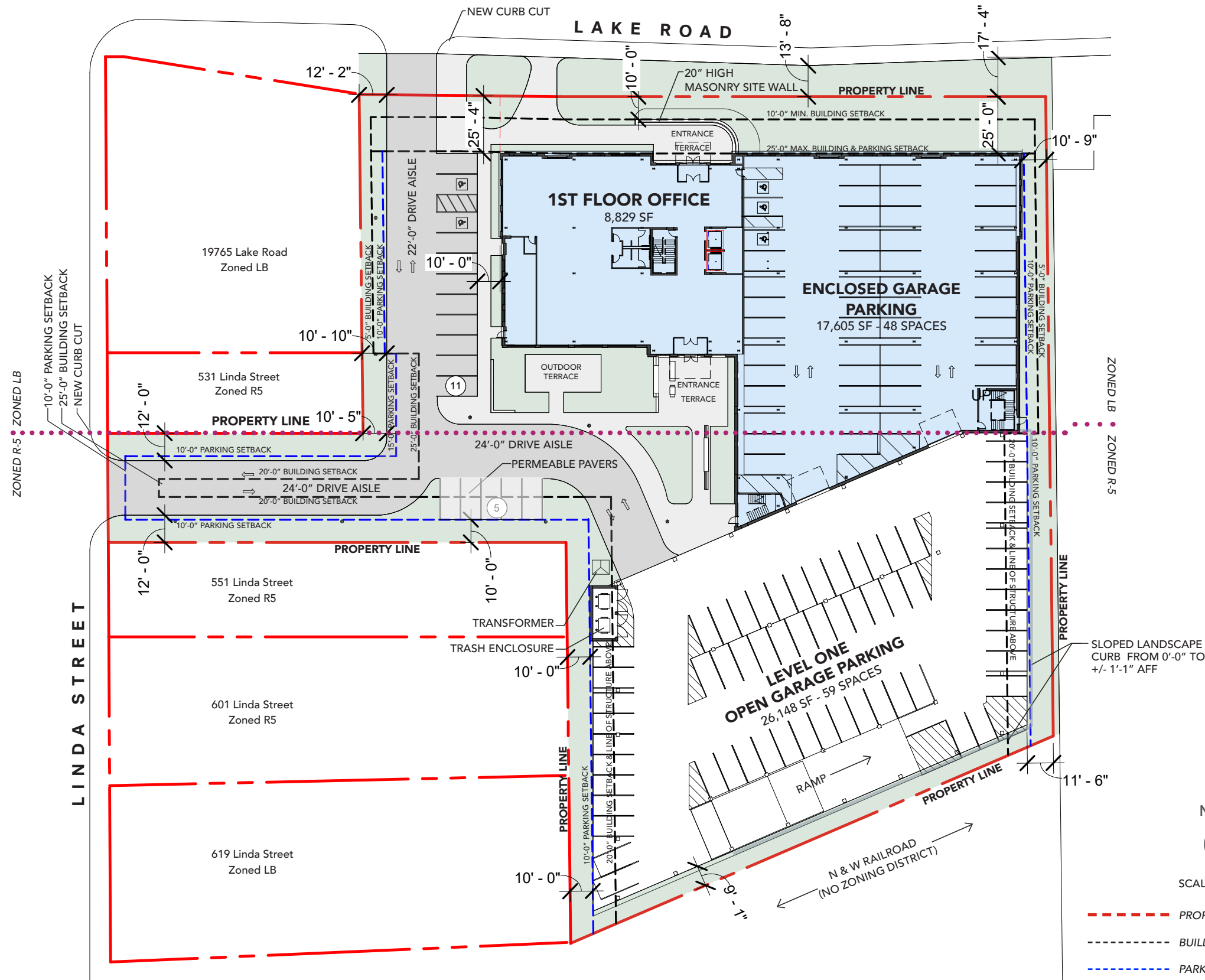


## GENERAL DEMOLITION NOTES

1. All existing buildings on site to be removed in their entirety.
2. All existing asphalt, gravel and concrete to be removed in its entirety.
3. Existing landscape to be removed and replaced where it conflicts with the proposed site plan



# SITE PLAN - ZONING LEVEL ONE



## SITE AREA

Total Site Area		92,786 SF
LB Zoned Area	44,876 SF	
R-5 Zoned Area	47,910 SF	

## Building Coverage

LB Building Coverage	24,290 SF/ 54%	(30% allowed per code)
R-5 Building Coverage	28,292 SF/ 59%	(40% allowed per code)

## Impervious Area

R-5 Impervious Area	35,693 SF/ 74.5%	(75% allowed per code)
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## BUILDING AREA

1st Floor		52,582 SF
Office	8,829 SF	
Enclosed Garage Parking	17,605 SF	
Open Garage Parking	26,148 SF	
2nd Floor		50,250 SF
Office	26,434 SF	
Open Garage Parking	23,816 SF	

3rd Floor		23,029 SF
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Gross Building Area	125,861 SF
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Proposed Building Height	44'-2"
Allowable per code	35'-0" (LB)

## PARKING

Surface Parking (9'x18')	16 Spaces
Enclosed Garage Parking (9'x18')	48 Spaces
Open Garage Parking	116 Spaces
1st Floor (9'x18')	59 Spaces
2nd Floor (9'x18')	57 Spaces

Total Parking Spaces	180 Spaces
Total Required by code	175-292 Spaces

NORTH

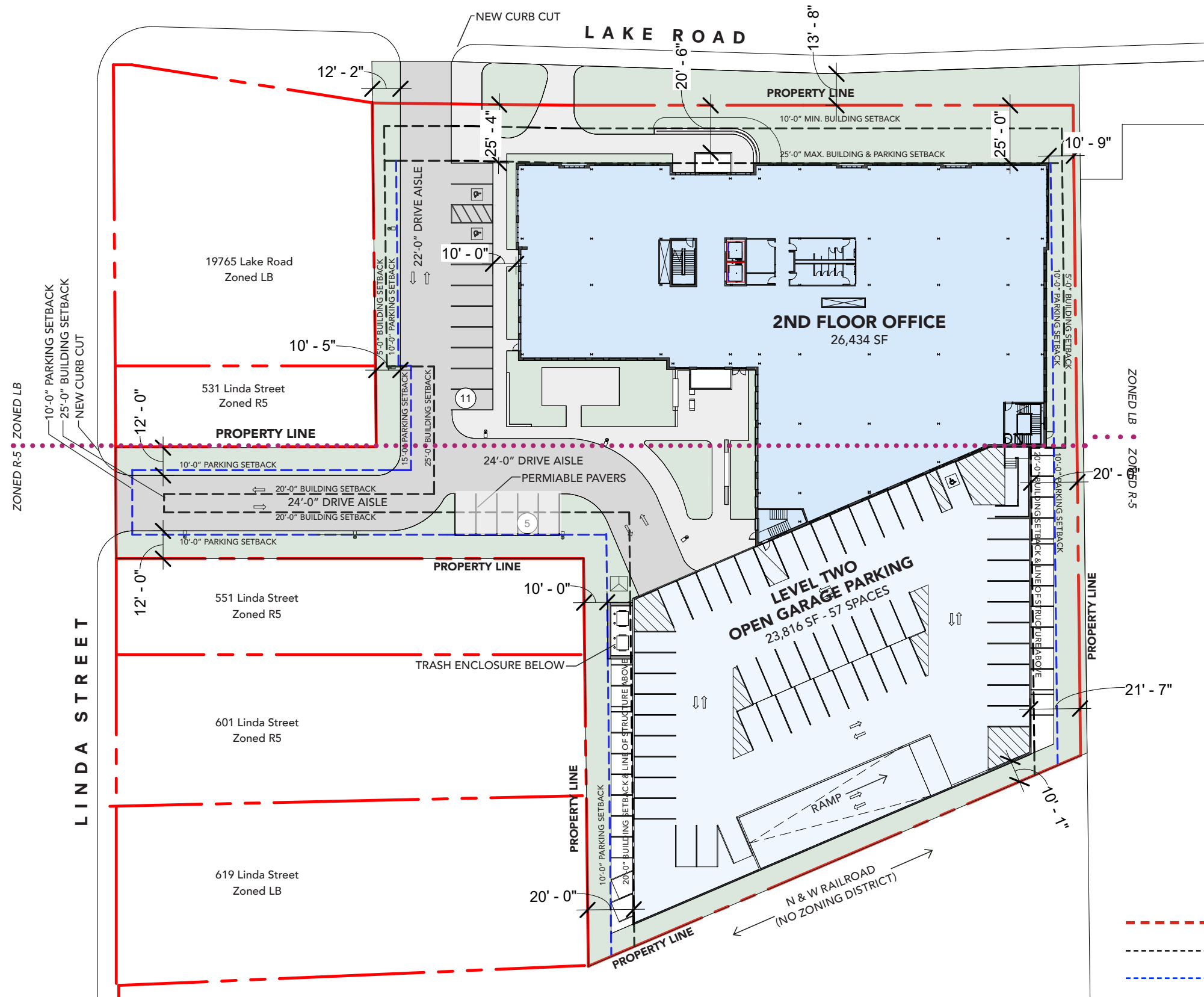


SCALE: 1" = 50'-0"

- - - - - PROPERTY LINE
- - - - - BUILDING SETBACK
- - - - - PARKING SETBACK



# SITE PLAN - ZONING LEVEL TWO



## SITE AREA

Total Site Area		92,786 SF
LB Zoned Area	44,876 SF	
R-5 Zoned Area	47,910 SF	

Building Coverage		
LB Building Coverage	24,290 SF/ 54%	(30% allowed per code)
R-5 Building Coverage	28,292 SF/ 59%	(40% allowed per code)

Impervious Area		
R-5 Impervious Area	35,693 SF/ 74.5%	(75% allowed per code)

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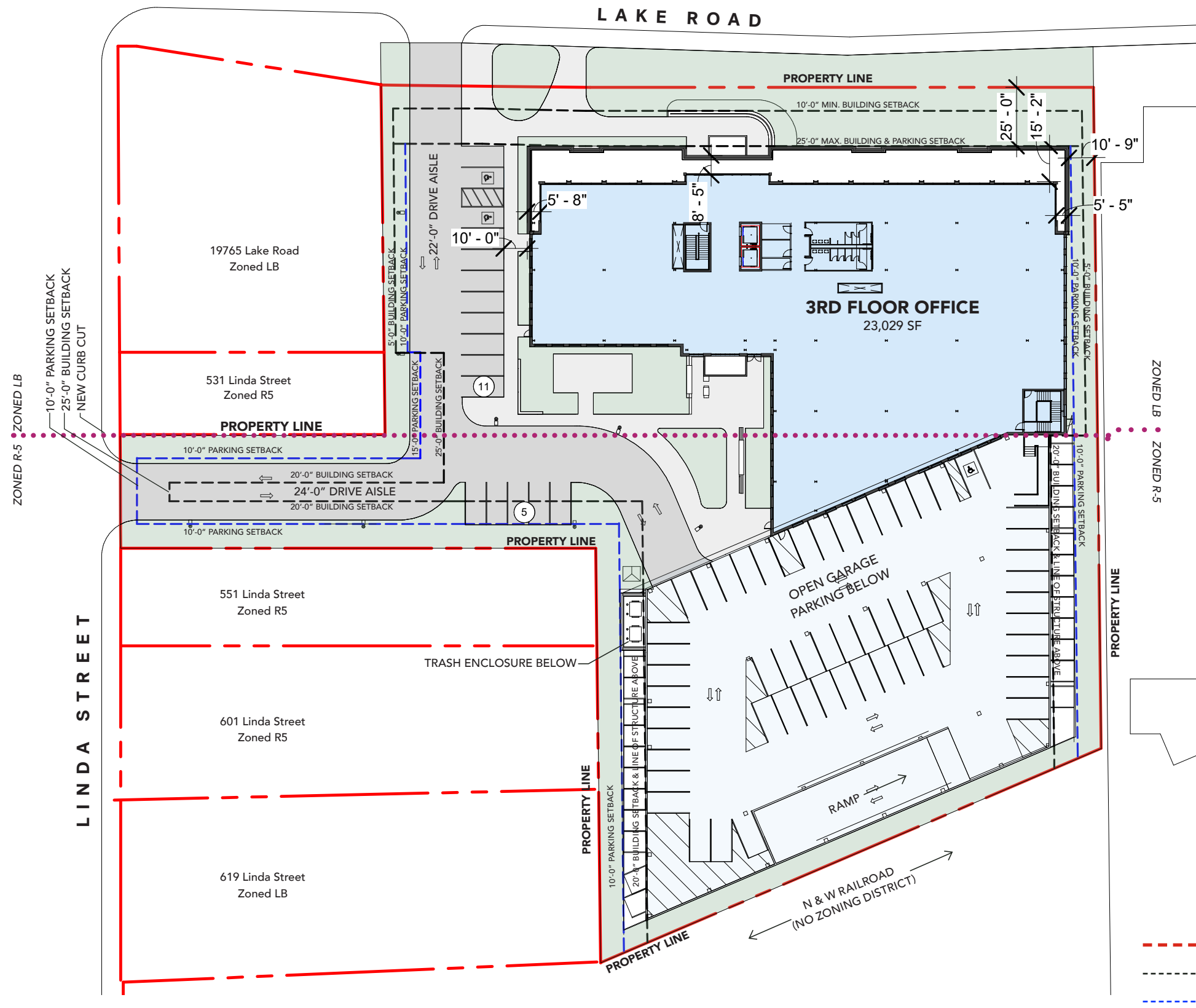


SCALE: 1" = 50'-0"

- - - - - PROPERTY LINE
- - - - - BUILDING SETBACK
- - - - - PARKING SETBACK



# SITE PLAN - ZONING LEVEL THREE



## SITE AREA

Total Site Area		92,786 SF
LB Zoned Area	44,876 SF	
R-5 Zoned Area	47,910 SF	
Building Coverage		
LB Building Coverage	24,290 SF/ 54%	(30% allowed per code)
R-5 Building Coverage	28,292 SF/ 59%	(40% allowed per code)
Impervious Area		
R-5 Impervious Area	35,693 SF/ 74.5%	(75% allowed per code)

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NORTH



SCALE: 1" = 50'-0"

- - - - - PROPERTY LINE
- - - - - BUILDING SETBACK
- - - - - PARKING SETBACK



# SITE PLAN - ZONING

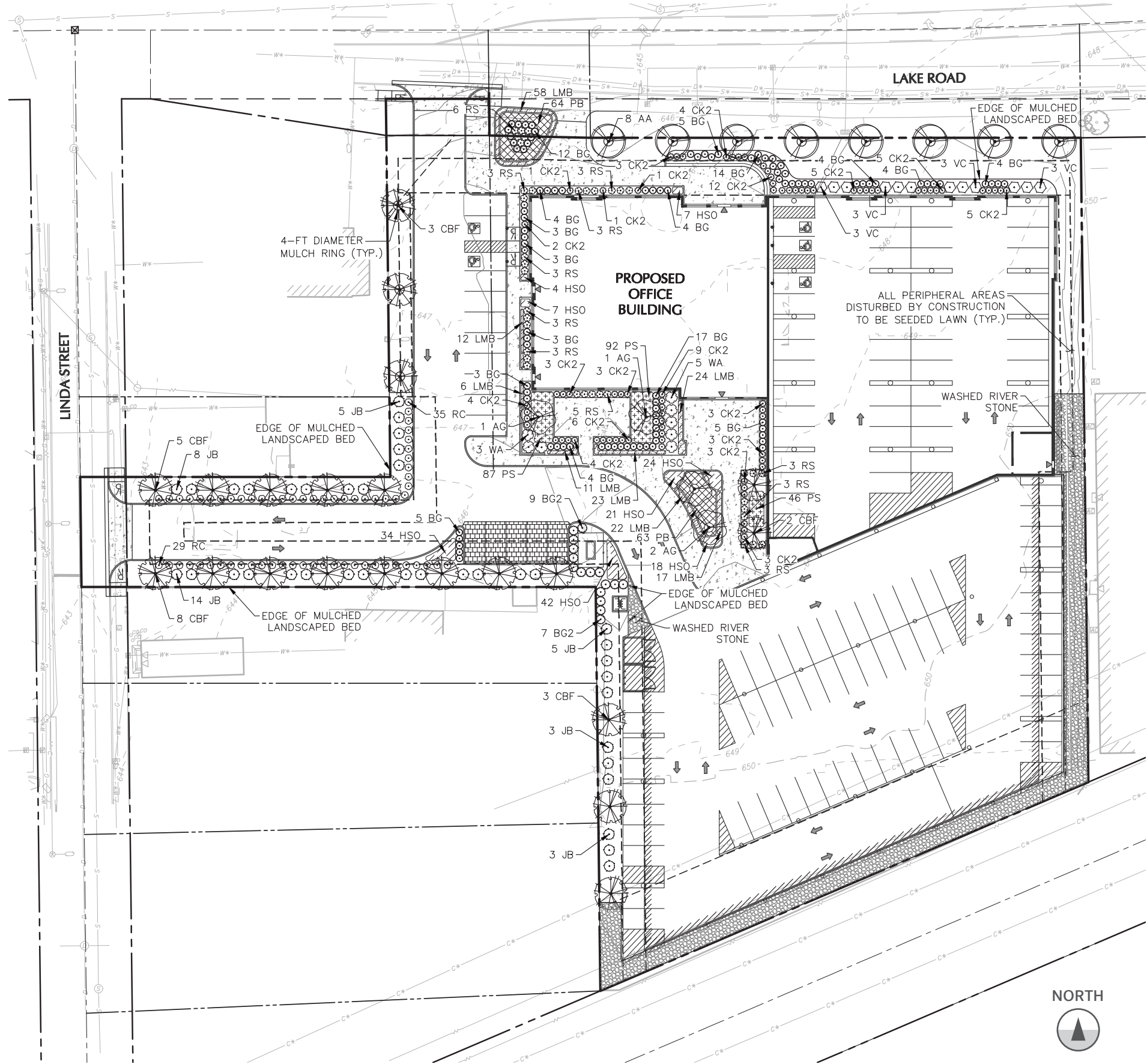
## Rocky River Codified Ordinances

<b>Total Lot Area</b>		<b>92,786 SF</b>
	LB Zoned Area	44,876 SF
	R-5 Zoned Area	47,910 SF
<b>Total Building Coverage</b>		<b>52,582 SF</b>
	LB Building Coverage	24,290 SF
	R-5 Building Coverage	28,292 SF
Total Impervious Surface Coverage on R-5		35,693 SF

	<u>Local Business (LB)</u>	<u>Multifamily Residential (R-5)</u>	<u>Proposed</u>
<u>Use Regulations</u>			
Office - Administrative, Business or Professional Off-Street Parking (Section 1157.03)	Use Permitted -	Not Permitted Accessory Use	<b>4,375 Gross SF of Office Use on R-5 Zoned portion of lot</b>
<u>Conditional Use - Parking Structure in R-5</u>			
Minimum Lot Size	-	2 Acres	2.15 Acres
Minimum Lot Width	-	200'-0"	214'-0"
<u>Lot Regulation</u>			
Minimum Lot Width	-	150'-0"	214'-0"
Max Coverage By Building	30%	40%	<b>54% LB Coverage/ 59% R-5 Coverage</b>
Max Coverage by All Impervious Surfaces	-	75%	<b>74.5% Lot coverage</b>
<u>Building Setback Requirements</u>			
Min. Building Setback from Right-of-Way	10'-0 to 25'-0"	25'-0"	25'-0"
Side lot line abutting non-residential district	5'-0"	-	11'-6" East; 55'-10" West
Side and rear lot lines abutting residential district	25'-0"	-	61'-6" West side yard
Min. Building Setback from boundary line abutting any district other than R-1 & R-2	-	20'-0"	Side yard 20'-0"
<u>Parking Setback Requirements</u>			
Min. Setback from Right-of-Way	Face of Principal Building	10'-0"	38'-0" (Face of Building at 25'-0")
Side and Rear lot line abutting non-residential district	10'-0"	10'-0"	10'-0"
Side and rear lot line abutting residential district	15'-0"	10'-0"	12'-0", <b>10'-5" west property line abutting 531 Linda</b>
From Principal Building	10'-0"		10'-0"
<u>Height Requirements</u>			
<b>Principal buildings or Structures</b>	<b>35'-0"</b>	<b>50'-0"</b>	<b>44'-2" (On LB Zoned portion of Lot)</b>
<u>Off-Street Parking Regulations</u>			
Min. 3 spaces per 1000 SF of Floor Area	=	175 Spaces	
Max. 5 spaces per 1000 SF of Floor Area	=	292 Spaces	
<b>Total</b>		<b>175-292 Spaces</b>	<b>180 spaces provided</b>



# SITE PLAN - LANDSCAPE PLAN



## PLANT SCHEDULE

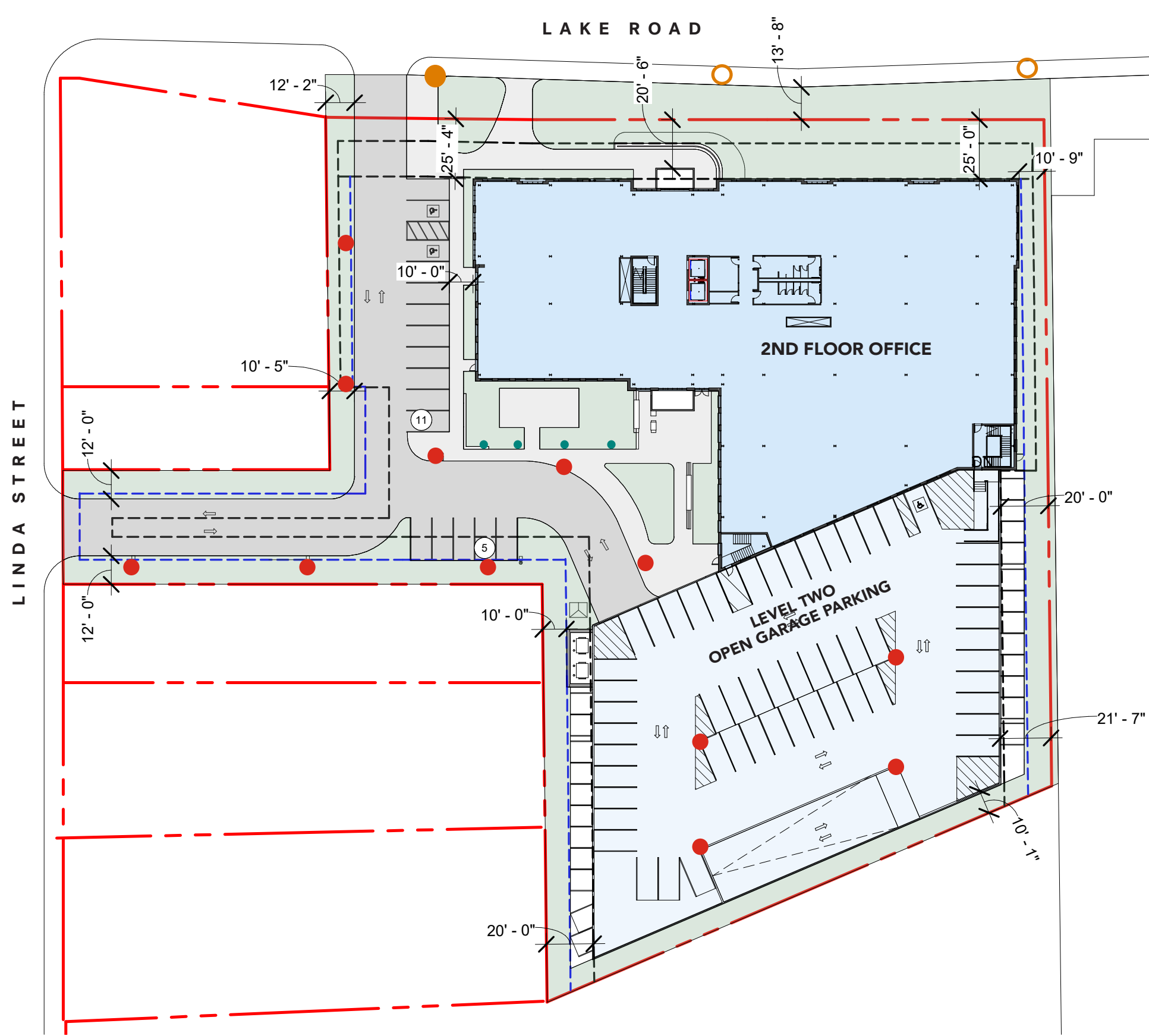
DECIDUOUS TREES	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	
	AA	8	ACER RUBRUM 'ARMSTRONG' / ARMSTRONG RED MAPLE	2 1/2-3" CAL.		
	CBF	21	CARPINUS BETULUS 'FRANS FONTAINE' / FRANS FONTAINE HORNBEAM	2 1/2-3" CAL.		
ORNAMENTAL TREES	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	
	AG	4	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	2 1/2-3" CAL.		
DECIDUOUS SHRUBS	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	
	RC	64	RIBES ALPINUM 'COMPACTA' / COMPACT ALPINE CURRANT	5 GAL.		
	RS	38	ROSA X 'MEIZORLAND' / WHITE DRIFT@GROUNDCOVER ROSE	3 GAL.		
	VC	12	VIBURNUM CARLESII 'COMPACTUM' / COMPACT KOREANSPICE VIBURNUM	5 GAL.		
	WA	8	WEIGELA FLORIDA 'ALEXANDRA' / WINE & ROSES@WEIGELA	5 GAL.		
EVERGREEN SHRUBS	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	
	BG	94	BUXUS X 'GREEN VELVET' / GREEN VELVET BOXWOOD	2' HT.	B&B	
	BG2	16	BUXUS X 'GREEN MOUNTAIN' / GREEN MOUNTAIN BOXWOOD	4' HT.	B&B	
	JB	38	JUNIPERUS SCOPULORUM 'BLUE ARROW' / BLUE ARROW JUNIPER	6' HT.	B&B	
GRASSES	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	
	CK2	80	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	3 GAL.		
GROUND COVERS	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	SPACING
	HSO	157	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	2 GAL.		18" o.c.
	LMB	173	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF	2 GAL.		18" o.c.
	PB	127	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' / LITTLE BUNNY FOUNTAIN GRASS	2 GAL.		24" o.c.
	PS	225	PACHYSANDRA TERMINALIS 'SILVER EDGE' / SILVER EDGE JAPANESE PACHYSANDRA	2 GAL.		18" o.c.







SITE PLAN - LIGHTING PLAN



● McGraw-Edison  
GLEON Galleon  
14'-0" H



● BEGA Garden  
27.5" H

○ Existing Street  
Light to remain

● Street light to be  
relocated

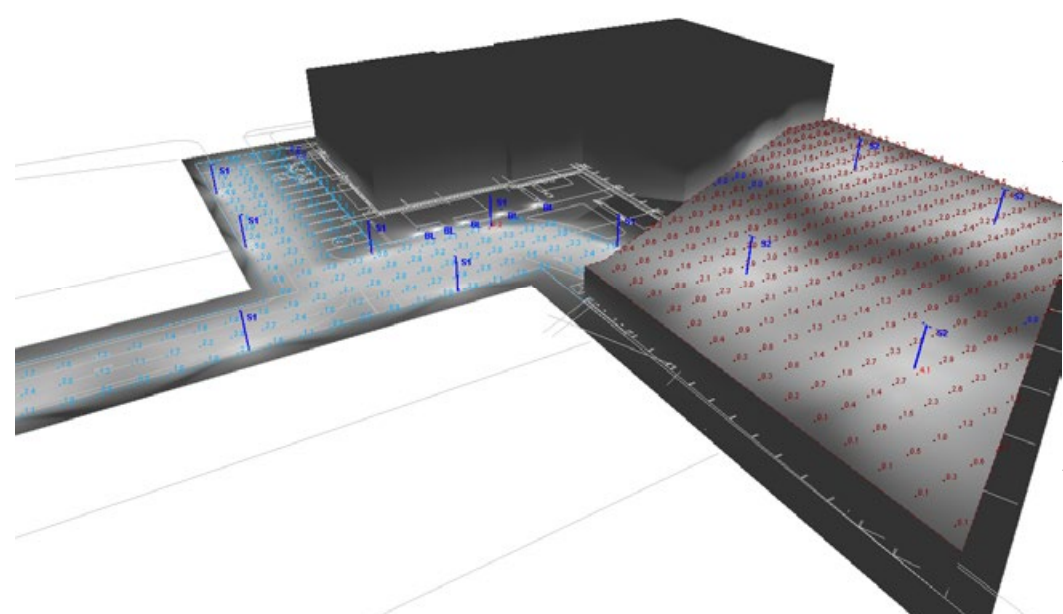
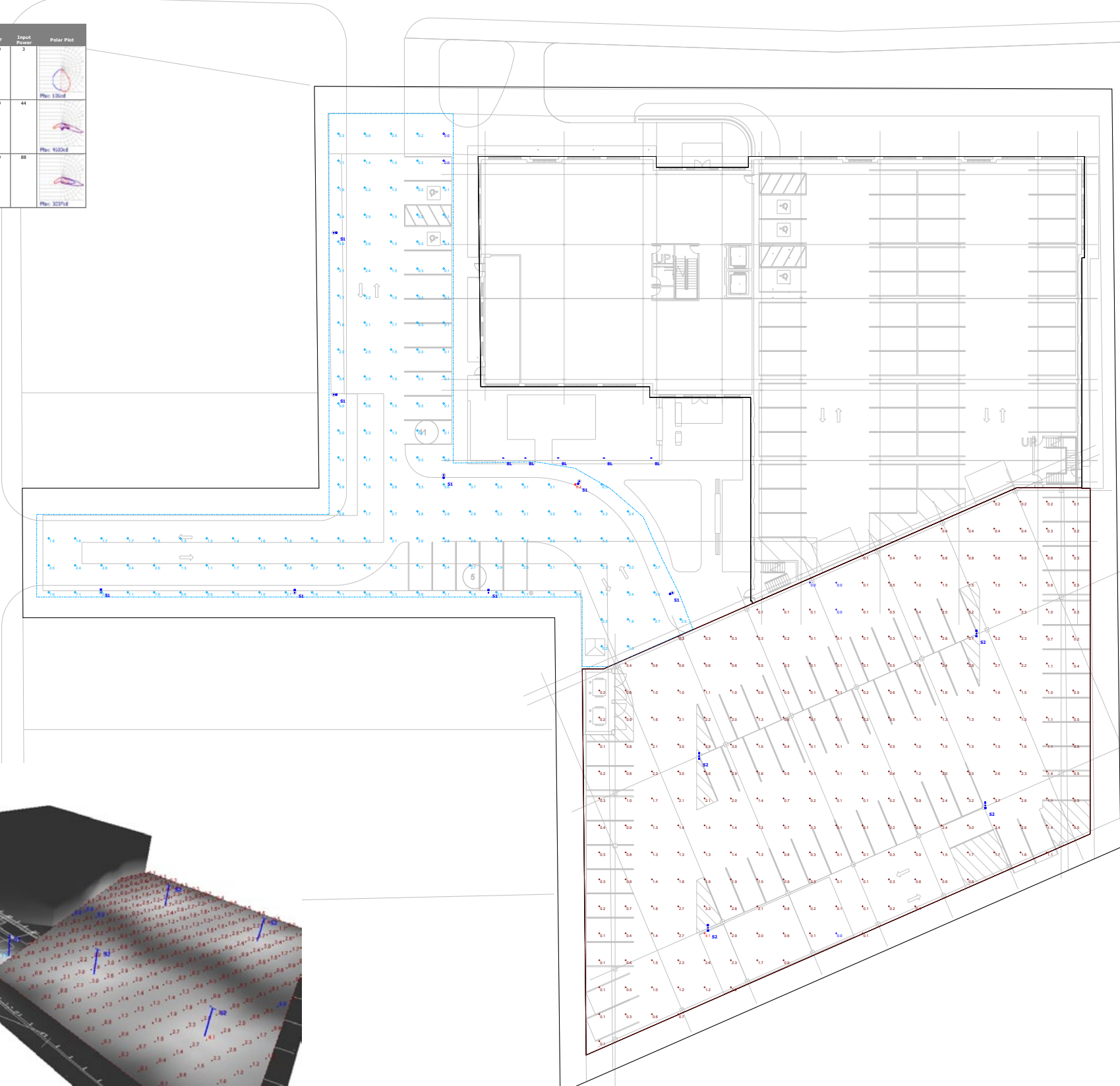




# SITE PLAN - LIGHTING PLAN - PHOTOMETRICS

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamp	Lamp Output	LLF	Input Power	Polar Plot
BL			5	BEGA Copyright LUMCAT V		77237N3	1	154	0.9	3	
S1			8	COOPER LIGHTING SOLUTIONS - RUGBARI EDISON (FORMERLY EATON)	GALN-SA18-730-U-SL3-HIS	GALLEON AREA AND ROADWAY LUMINAIRE (31.75 CRI, 3000K, 1800LM LIGHTSQUARE WITH 16 LEDs AND TYPE D1 SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD)	16	271	0.9	44	
S2			4	COOPER LIGHTING SOLUTIONS - RUGBARI EDISON (FORMERLY EATON)	GALN-SA18-730-U-SL4-HIS	GALLEON AREA AND ROADWAY LUMINAIRE (31.75 CRI, 3000K, 1800LM LIGHTSQUARE WITH 16 LEDs AND TYPE D1 SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD)	16	270	0.9	88	

Description	Symbol	Avg	Max	Min	Max/Min	Avg/7Min
Parking Deck	+	1.1 f.c.	4.1 f.c.	0.0 f.c.	N/A	N/A
Parking/Drive Aisle	◇	1.8 f.c.	6.2 f.c.	0.0 f.c.	N/A	N/A



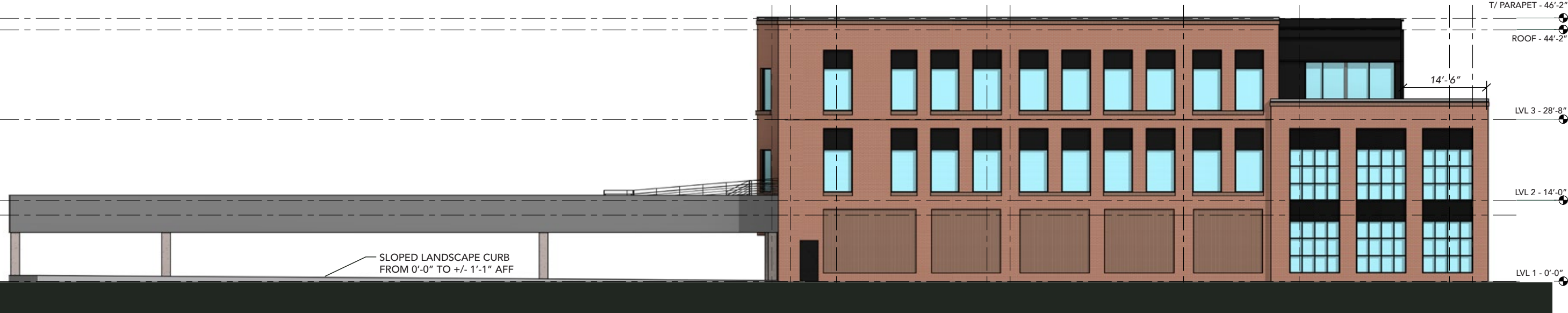
Plan View  
Scale - 1" = 10'



EXTERIOR ELEVATIONS



North Elevation



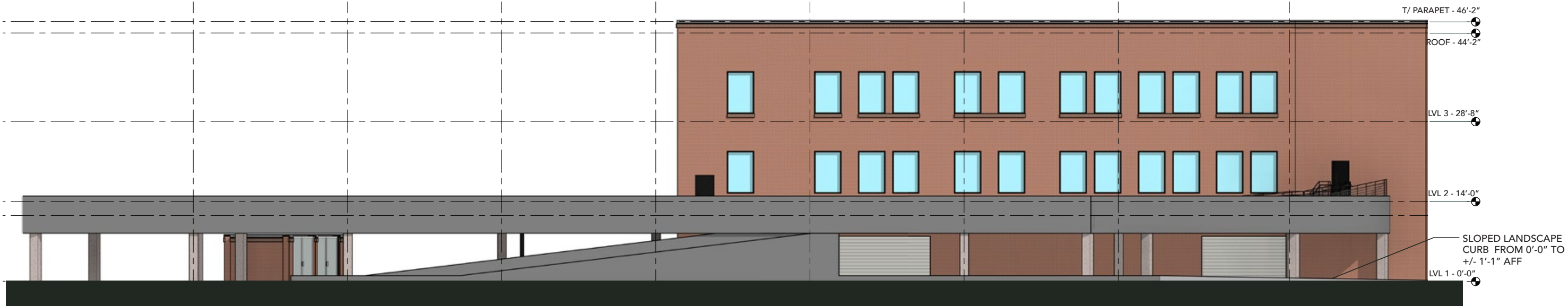
East Elevation



EXTERIOR ELEVATIONS



South Elevation



Parking Garage South Elevation



EXTERIOR ELEVATIONS



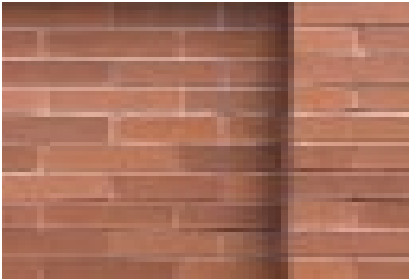
West Elevation



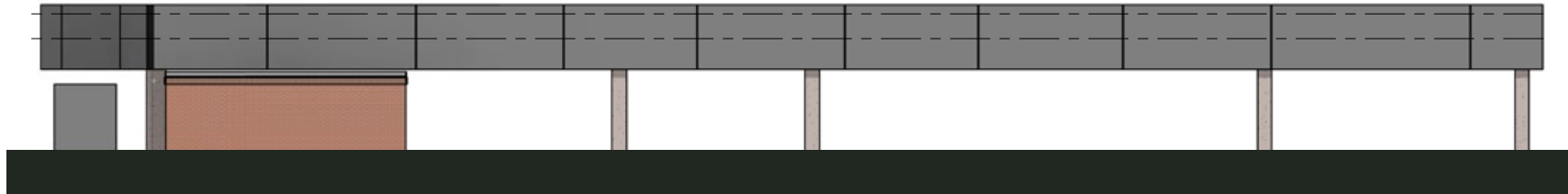
STOREFRONT - BLACK FINISH



FLUSH METAL PANEL - BLACK FINISH



BRICK



Parking Garage West Elevation



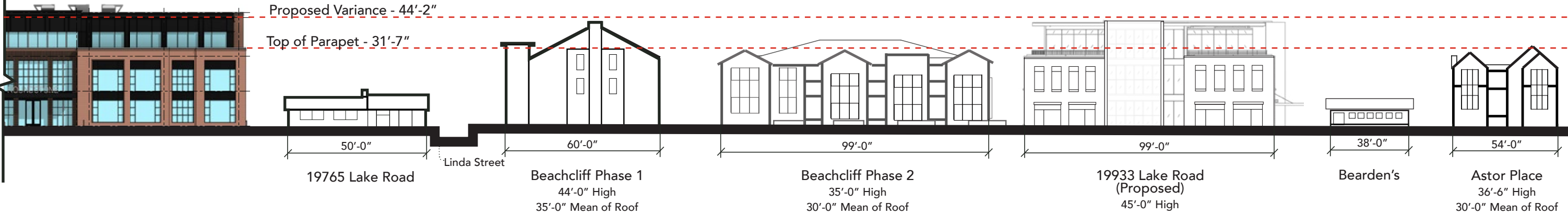
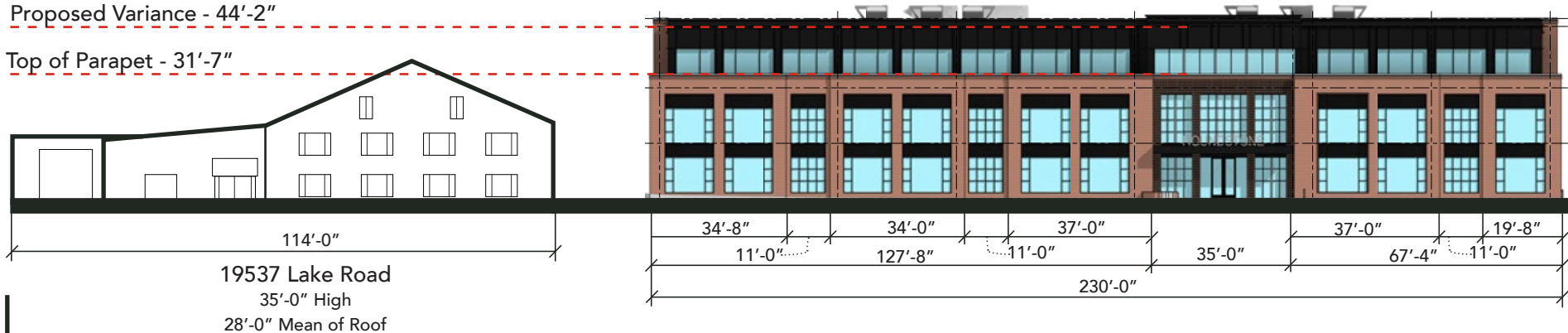
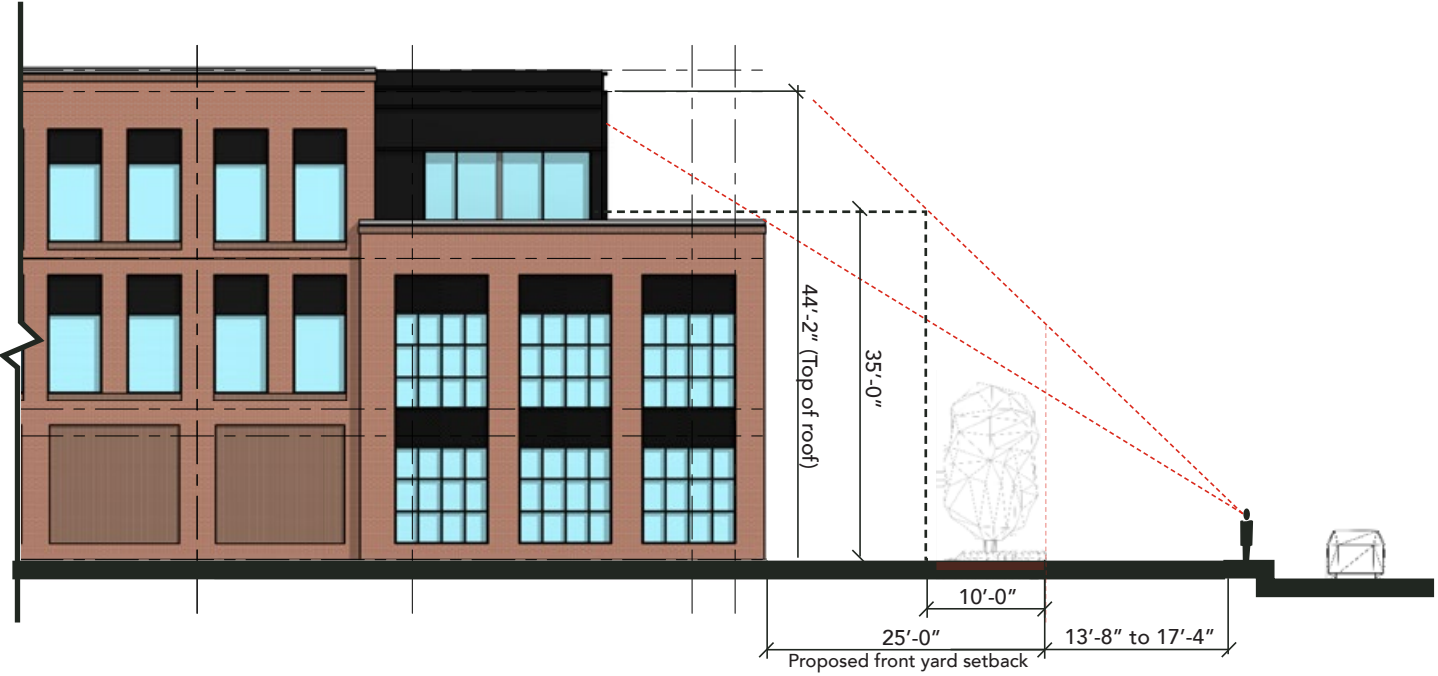
SITE CONTEXT - FRONT YARD SETBACK FROM LAKE ROAD



--- Indicates ROW  
Setbacks measured from building face to southern face of sidewalk



# SITE CONTEXT - LAKE ROAD ELEVATION





SITE CONTEXT - ROOF TOP UNIT VISIBILITY



View of North Facade



View of Northwest corner from Lake Road



View of Northeast corner from Lake Road



View of West Elevation



EXTERIOR RENDERINGS - East Facade





EXTERIOR RENDERINGS - Northeast Corner





EXTERIOR RENDERINGS - Lake Road Entrance





EXTERIOR RENDERINGS - Northwest Corner





EXTERIOR RENDERINGS - Northwest Corner





EXTERIOR RENDERINGS - Northwest Corner - Detail





EXTERIOR RENDERINGS - Southwest Corner





EXTERIOR RENDERINGS - South Entrance





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**LET YOUR  
SPACES SPEAK.**