vocon

19621 LAKE ROAD

COMMERCIAL OFFICE BUILDING DEVELOPMENT

APRIL 4, 2023

LAKE ROAD ROCKY RIVER LLC 19621 LAKE ROAD

EXISTING CONTEXT



AREA ZONED R-5

AREA ZONED LB

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EXISTING CONTEXT



19537 Lake Road (East of Site)



Beachcliff Row at intersection of Linda St. and Lake Road



North of site on Lake Road



Existing site from railroad tracks



19765 Lake Road (West of Site)



1250 Linda Street - 3 story office use



ROCKY RIVER, OHIO

PROPERTY LINE

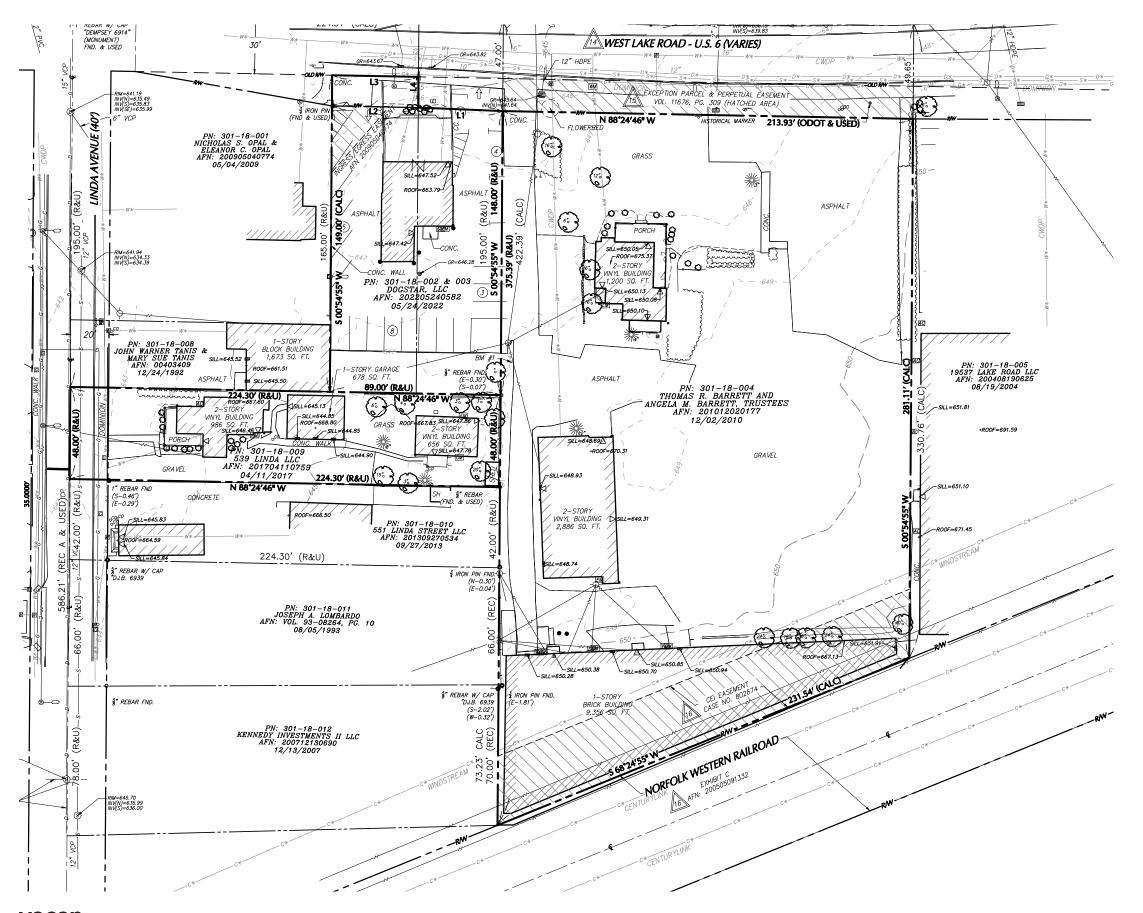
AREA ZONED R-5

AREA ZONED LB

NORTH

VOCON• 220841.00 | 19621 LAKE ROAD

EXISTING SURVEY



BASIS OF BEARINGS

MERIDIAN IS REFERENCED TO OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 83, PER GPS OBSERVATIONS IN JANUARY, 2023.

DATU

VERTICAL DATUM IS NAVD 88 OBTAINED FROM GPS
OBSERVATIONS ON 01/12/23

BENCHMARK

BM 1 - PIN & CAP, ELEV=648.0 BM 2 - MAG NAIL, ELEV=648.63

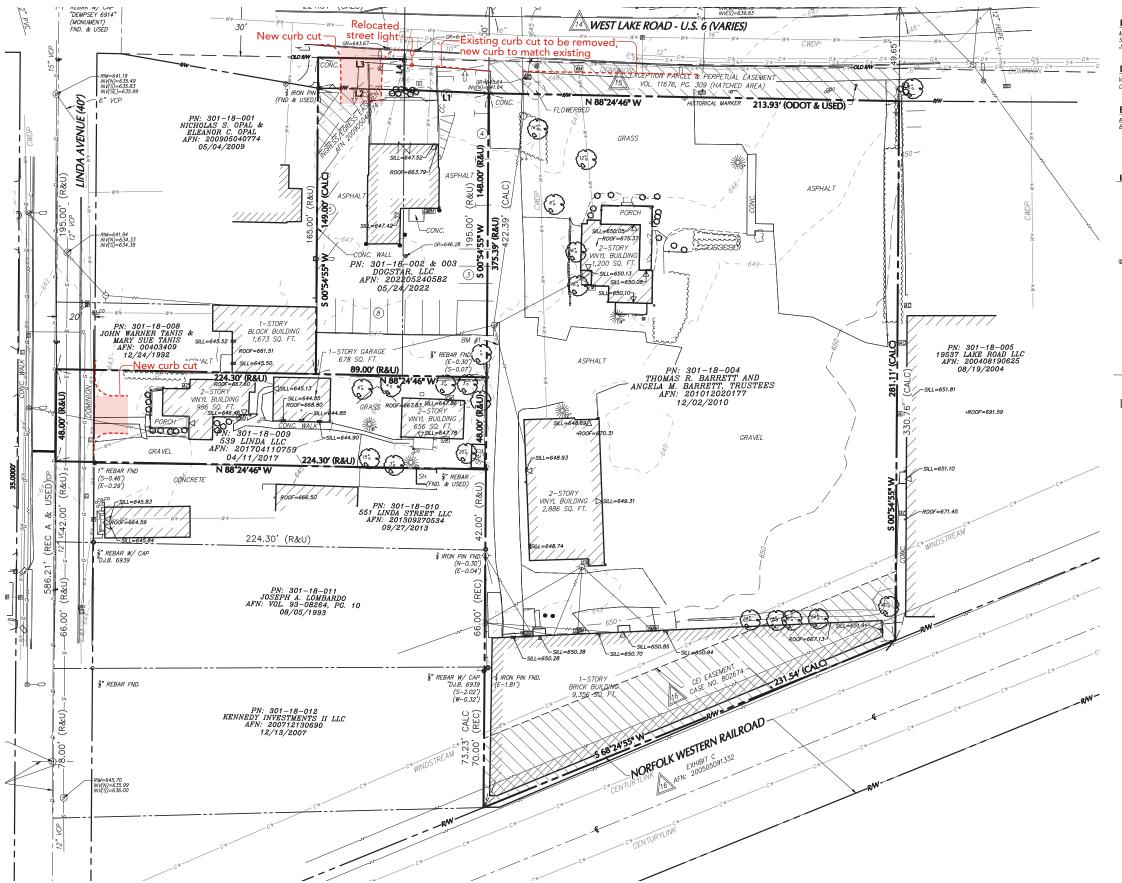
LEGEND (NOT SHOWN TO SCALE)

⊠ ⊚ ∘ ● ⊗	 MONUMENTATION FOUND (TYPE AS NOTED) SET §" X 30" STEEL PIN WITH CAP "LANGAN" SET DRILL HOLE	REC. AC. SQ. FT. PIN		DEED OF RECORD ACRES SQUARE FEET PARCEL NUMBER
•	 BOLLARD	INST.		INSTRUMENT NUMBER
	 STREET LIGHT	INST. EP		
-0-	 POWER POLE	EP		EDGE OF PAVEMENT
<u> </u>	 GUY WIRE			SUBJECT PROPERTY LINE
000000	 MANHOLE (TYPE AS LABELED)			ADJOINING PROPERTY LINE
B	 WATER VALVE			EASEMENT LINE
IG I	 GAS VALVE	$\sim\sim\sim$		TREE LINE
	 UNKNOWN VALVE			GUIDE RAIL (TYPE AS NOTED)
Ø == ==	 CATCH BASIN	sr		STEAM LINE
ço ——	 CLEAN OUT			OVERHEAD WIRE COMBINED SEWER LINE
⊸ and	 SIGN			GAS LINE
E	 ELECTRIC BOX	w		WATER LINE
EM	 ELECTRIC METER	Ε		ELECTRIC LINE
GM	 GAS METER	т —		COMMUNICATION LINE
WW	 WATER METER	s		SANITARY LINE
	 TELEPHONE BOX	D		DRAINAGE LINE
××	 FENCE (TYPE AS NOTED)		—	REFERENCE UTILITY LINE (TYPE AS NOTED) — PLOTTED FROM EXISTING MAPPING

NORTH



EXISTING SITE - PROPOSED DEMOLITION PLAN



BASIS OF BEARINGS

MERIDIAN IS REFERENCED TO OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 83, PER GPS OBSERVATIONS IN JANUARY, 2023.

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G		GAS VALVE			
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⊘ m ⊞ m		CATCH BASIN	—sr——sr——		STEAM LINE
oco.		CLEAN OUT			OVERHEAD WIRE COMBINED SEWER LINE
-0- max		SIGN	G		GAS LINE
E		ELECTRIC BOX	w		WATER LINE
EM		ELECTRIC METER	E		ELECTRIC LINE
GM.		GAS METER			COMMUNICATION LINE
WM		WATER METER	s		SANITARY LINE
		TELEPHONE BOX	p		DRAINAGE LINE
-xx		FENCE (TYPE AS NOTED)			REFERENCE UTILITY LINE (TYPE AS NOTED) — PLOTTED FROM EXISTING MAPPING

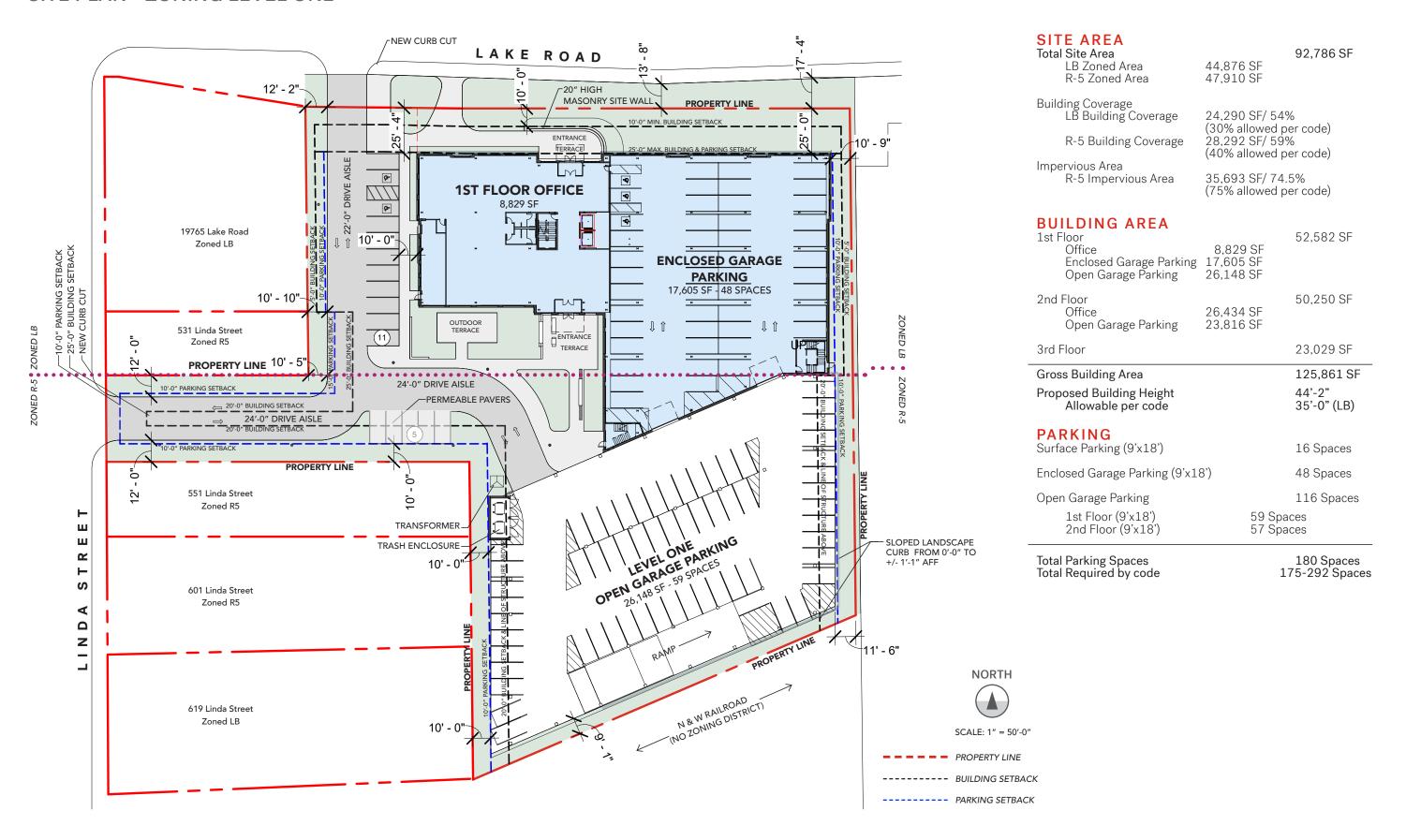
NORTH



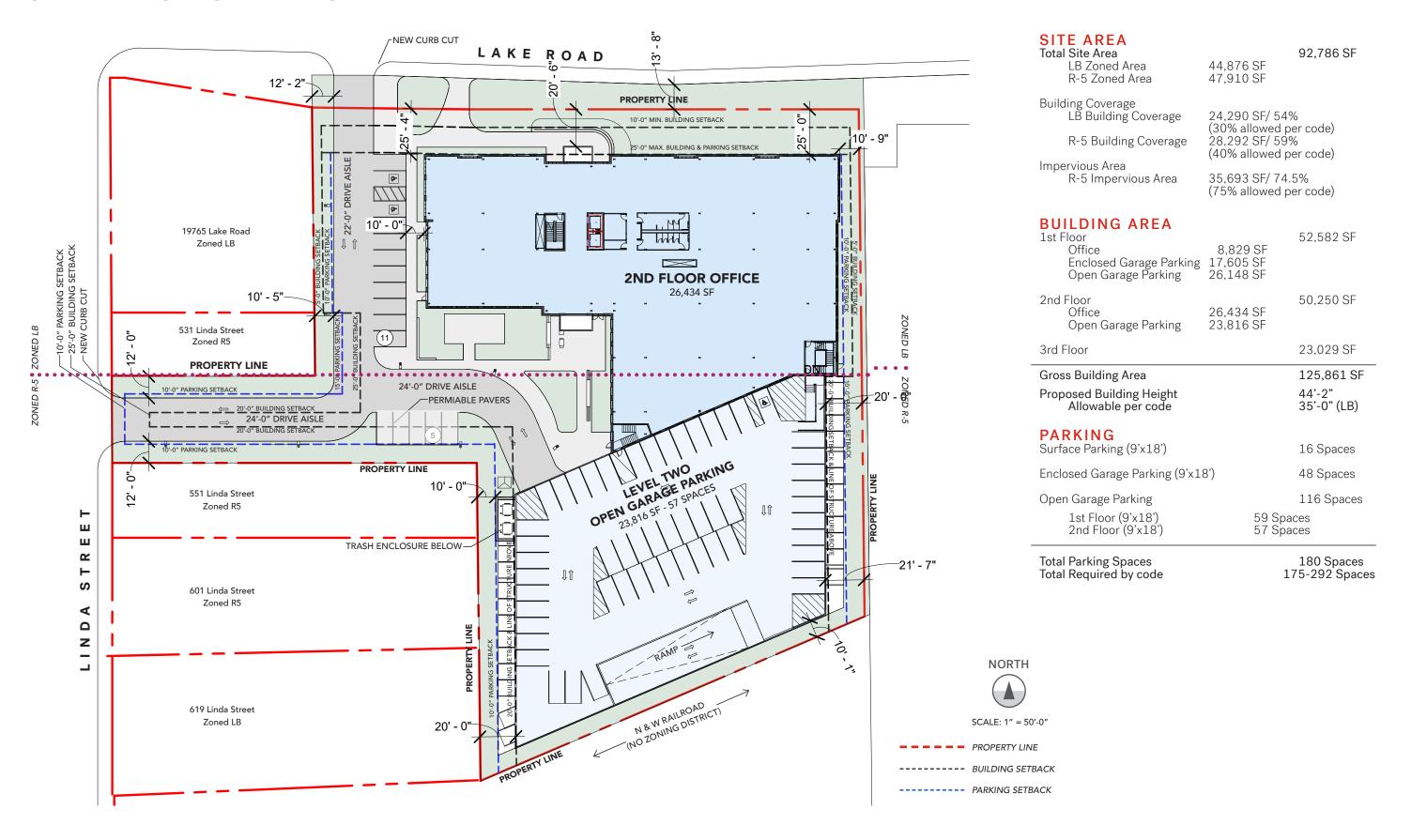
GENERAL DEMOLITION NOTES

- 1. All existing buildings on site to be removed in their entirety.
- 2. All existing asphalt, gravel and concrete to be removed in its entirety.
- 3. Existing landscape to be removed and replaced where it conflicts with the proposed site plan

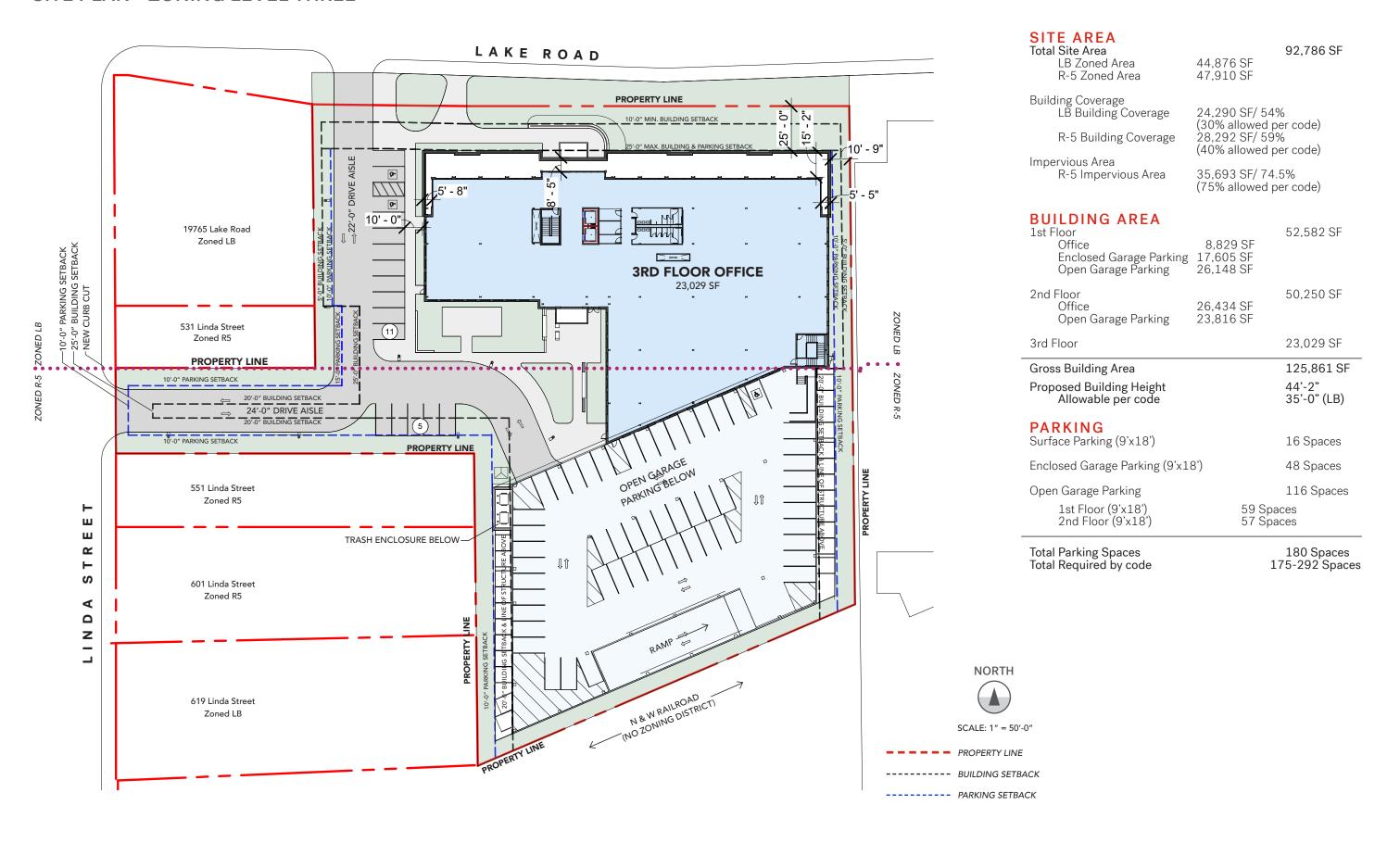
SITE PLAN - ZONING LEVEL ONE



SITE PLAN - ZONING LEVEL TWO



SITE PLAN - ZONING LEVEL THREE



SITE PLAN - ZONING

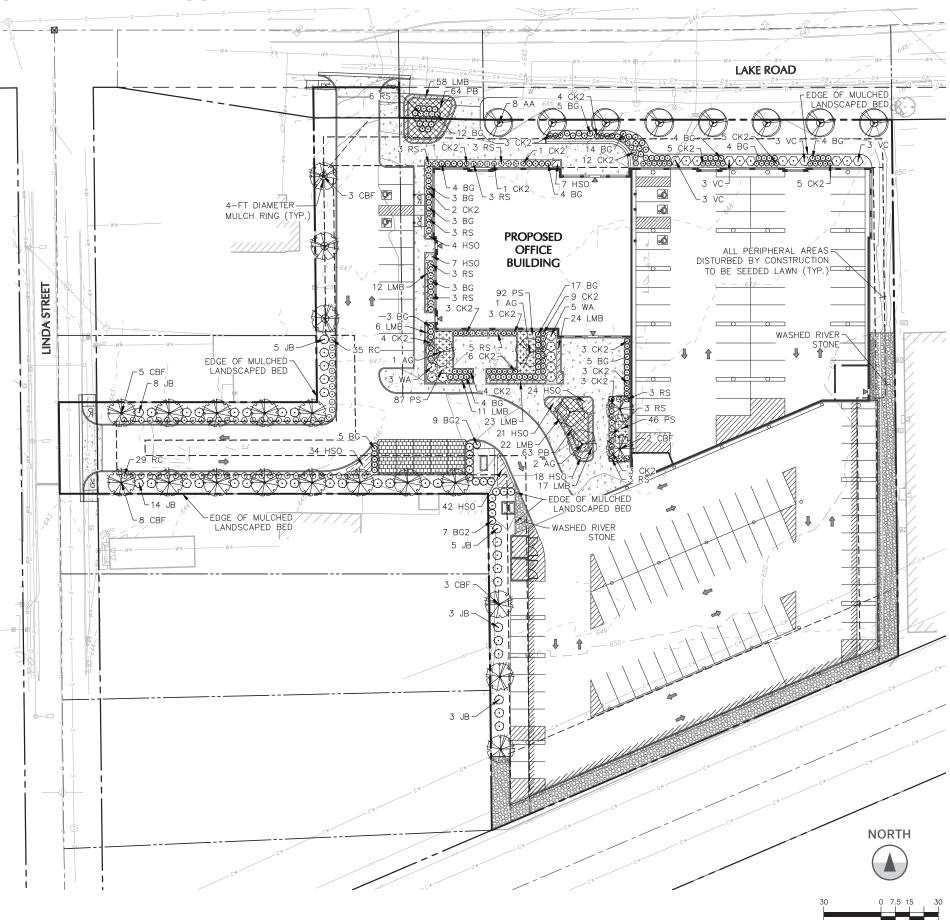
Rocky River Codified Ordinances

Total Lot Area	92,786 SF
LB Zoned Area	44,876 SF
R-5 Zoned Area	47,910 SF
Total Building Coverage	52,582 SF
LB Building Coverage	24,290 SF
R-5 Building Coverage	28,292 SF
Total Impervious Surface Coverage on R-5	35,693 SF

	Local Business (LB)	Multifamily Residential (R-5)	<u>Proposed</u>
Use Regulations	Hara Barra Marid	Not Be willed	4.375 Consection (Control to the Control to the Cont
Office - Administrative, Business or Professional	Use Permitted	Not Permitted	4,375 Gross SF of Office Use on R-5 Zoned portion of lo
Off-Street Parking (Section 1157.03)	-	Accessory Use	
Conditional Use - Parking Structure in R-5			
Minimum Lot Size	-	2 Acres	2.15 Acres
Minimum Lot Width	-	200'-0"	214'-0"
Lot Regulation			
Minimum Lot Width	-	150'-0"	214'-0"
Max Coverage By Building	30%	40%	54% LB Coverage/ 59% R-5 Coverage
Max Coverage by All Impervious Surfaces	-	75%	74.5% Lot coverage
Building Setback Requirements			
Min. Building Setback from Right-of-Way	10'-0 to 25'-0"	25'-0"	25'-0"
Side lot line abutting non-residential district	5'-0"	-	11'-6" East; 55'-10" West
Side and rear lot lines abutting residential district	25'-0"	-	61'-6" West side yard
Min. Building Setback from boundry line abutting any		201.011	C' 1
district other than R-1 & R-2	-	20'-0"	Side yard 20'-0"
Parking Setback Requirements			
Min. Setback from Right-of-Way	Face of Principal Building	10'-0"	38'-0" (Face of Building at 25'-0")
Side and Rear lot line abutting non-residential district	10'-0"	10'-0"	10'-0"
Side and rear lot line abutting residential district	15'-0"	10'-0"	12'-0", 10'-5" west property line abutting 531 Linda
From Principal Building	10'-0"		10'-0"
Height Requirements			
Principal buildings or Structures	35'-0"	50'-0"	44'-2" (On LB Zoned portion of Lot)
Off-Street Parking Regulations			
Min. 3 spaces per 1000 SF of Floor Area	=	175 Spaces	
Max. 5 spaces per 1000 SF of Floor Area	<u> </u>	292 Spaces	
Tota	al	175-292 Spaces	180 spaces provided

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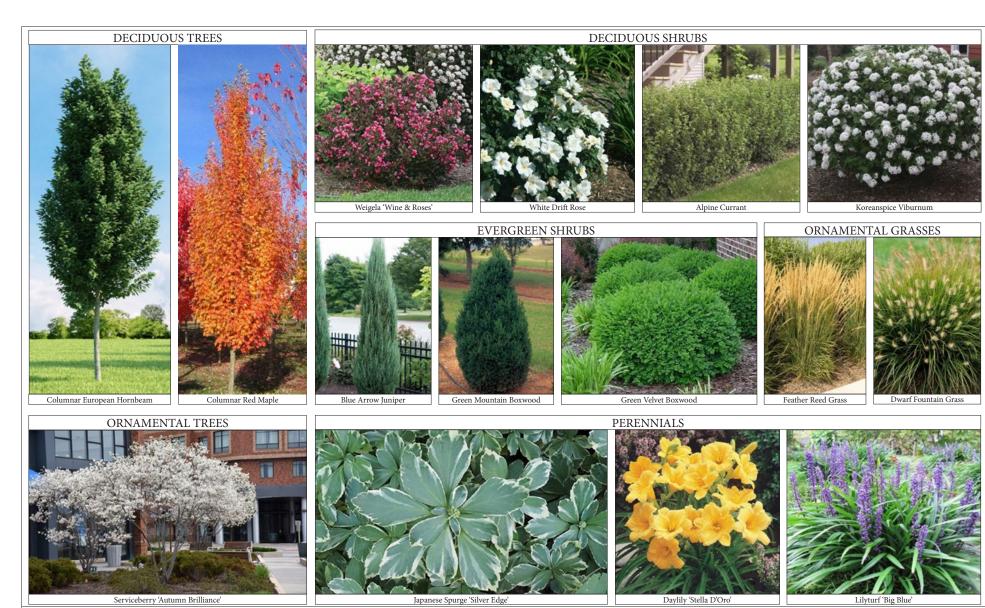
SITE PLAN - LANDSCAPE PLAN



PLANT SCHE	KEY	TQTY	POTANICAL / COMMON NAME	SIZE	ROOT	_
DECIDOOOS IREES	NE I	QII	BOTANICAL / COMMON NAME	SIZE	KOOT	-
\bigcirc	AA	8	ACER RUBRUM 'ARMSTRONG' / ARMSTRONG RED MAPLE	2 1/2-3" CAL.		
	CBF	21	CARPINUS BETULUS 'FRANS FONTAINE' / FRANS FONTAINE HORNBEAM	2 1/2-3" CAL.		
ORNAMENTAL TREES	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	
	AG	4	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	2 1/2-3" CAL.		
DECIDUOUS SHRUBS	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	
\odot	RC	64	RIBES ALPINUM 'COMPACTA' / COMPACT ALPINE CURRANT	5 GAL.		
\odot	RS	38	ROSA X 'MEIZORLAND' / WHITE DRIFT® GROUNDCOVER ROSE	3 GAL.		
\odot	vc	12	VIBURNUM CARLESII 'COMPACTUM' / COMPACT KOREANSPICE VIBURNUM	5 GAL.		
0	WA	8	WEIGELA FLORIDA 'ALEXANDRA' / WINE & ROSES® WEIGELA	5 GAL.		
EVERGREEN SHRUBS	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	
0	BG	94	BUXUS X 'GREEN VELVET' / GREEN VELVET BOXWOOD	2' HT.	В&В	
0	BG2	16	BUXUS X 'GREEN MOUNTAIN' / GREEN MOUNTAIN BOXWOOD	4' HT.	В&В	
0	JB	38	JUNIPERUS SCOPULORUM 'BLUE ARROW' / BLUE ARROW JUNIPER	6' HT.	B&B	
GRASSES	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	
0	CK2	80	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	3 GAL.		
GROUND COVERS	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	SPACING
	нѕо	157	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	2 GAL.		18" o.c.
	LМВ	173	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF	2 GAL.		18" o.c.
	РВ	127	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' / LITTLE BUNNY FOUNTAIN GRASS	2 GAL.		24" o.c.
	PS	225	PACHYSANDRA TERMINALIS 'SILVER EDGE' / SILVER EDGE JAPANESE PACHYSANDRA	2 GAL.		18" o.c.

SITE PLAN - LANDSCAPE PLAN

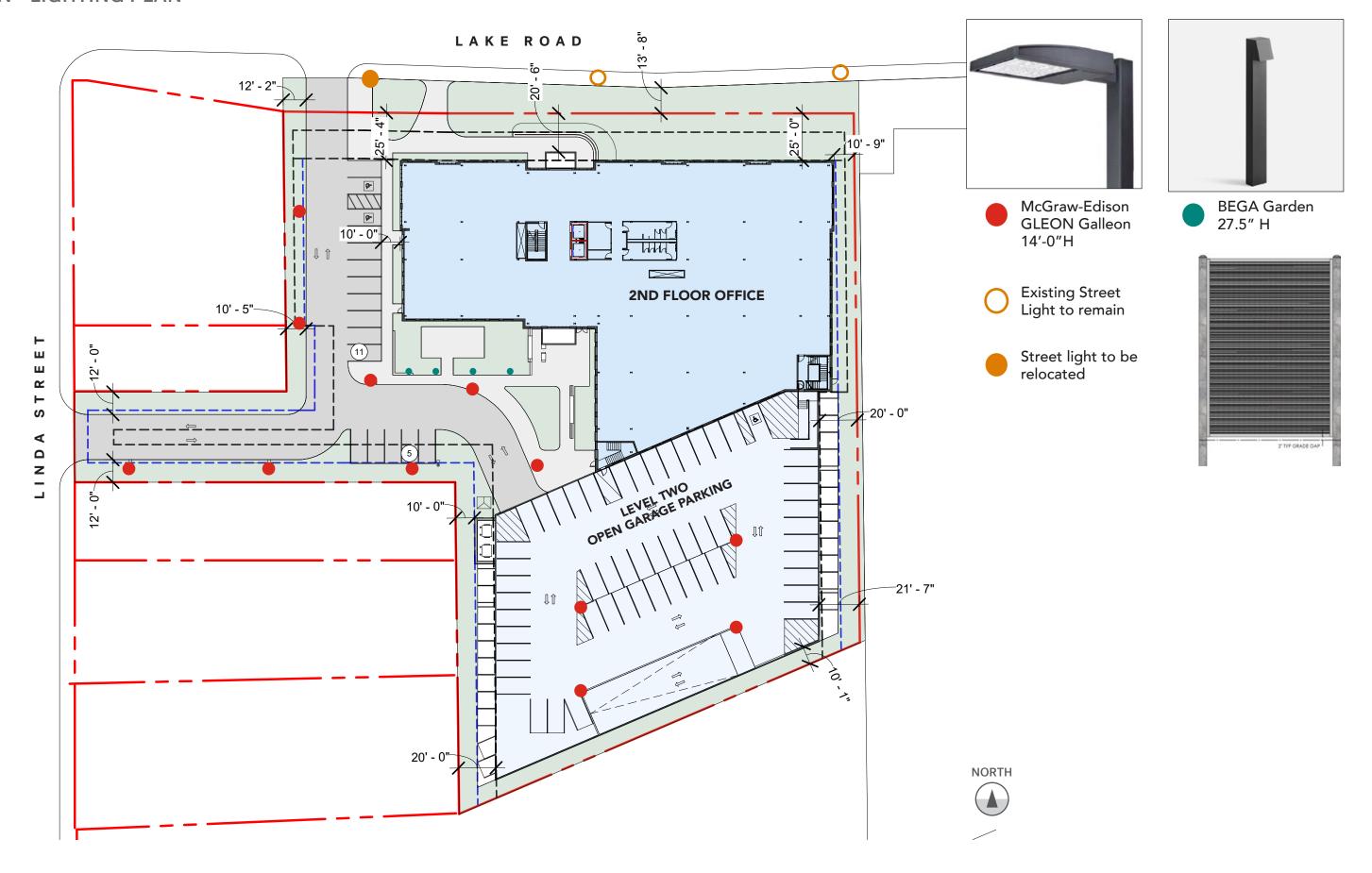
ROCKY RIVER, OHIO CHAPTER 1185 LANDSCAPING AND SCREENING REGULATIONS						
SECTION	ORDINANCE	PERMITTED/REQUIRED	SITE SPECIFIC CALCULATION	PROPOSED		
1185.07 LANDSCAPING ALONG THE STREET FRONTAGE AND PARKING SETBACK	THE STREET ERONTAGE	A. THREE (3) LARGE DECIDUOUS TREES SHALL BE PROVIDED FOR EVERY 100 LINEAR FEET OF LOT FRONTAGE OR FRACTION THEREOF, NOT INCLUDING DRIVE ENTRANCES.	278 LINEAR FEET OF FRONTAGE REQUIRED:	8 TREES 95 SHRUBS		
		B. TWENTY SHRUBS SHALL BE PROVIDED FOR EVERY 100 LINEAR FEET OF LOT FRONTAGE OR FRACTION THEREOF, NOT INCLUDING DRIVE ENTRANCES.	8 TREES 56 SHRUBS			
		C. ALL AREAS NOT DEVOTED TO TREES AND SHRUBS SHALL BE PLANTED WITH GRASS, GROUNDCOVER, OR OTHER LIVE LANDSCAPE TREATMENT.				
		D. TREES AND SHRUBS MAY BE AGGREGATED APPROPRIATELY, AS APPROVED BY THE PLANNING COMMISSION.				
		E. WHENEVER THE BUILDING SETBACK IS FIVE (5) FEET OR LESS, THESE REQUIREMENTS SHALL NOT APPLY.				
1185.09	PERIMETER LANDSCAPING REQUIREMENTS	PERIMETER LANDSCAPING SHALL BE REQUIRED ALONG ANY SIDE OF A PARKING LOT THAT ABUTS ADJOINING PROPERTY THAT IS NOT A RICHT-OF-WAY. A LANDSCAPED STRIP SHALL BE LOCATED BETWEEN THE PARKING AREA AND THE ABUTTING PROPERTY LINES.	576 LINEAR FEET OF VISIBLE SURFACE PARKING ABUTS ADJOINING PROPERTY REQUIRED:	14 LARGE DECIDUOUS TREES		
		ONE LARGE DECIDUOUS OR	14 LARGE DECIDUOUS TREES OR			
		TWO, SMALL SHADE TREES	28 SMALL DECIDUOUS TREES			
		FOR EACH FORTY (40) LINEAL FEET SHALL BE PLANTED IN THE LANDSCAPING STRIP.				
	SCREENING ALONG PUBLIC STREETS	WHENEVER PARKING AREAS CONSISTING OF FIVE (5) SPACES OR MORE OR ARE LOCATED WITHIN FORTY (40) FEET OF A PUBLIC STREET, A BUFFER YARD, WHICH IS THE DEFITH OF THE MINIMUM PARKING SETBACK SHALL BE ANY COMBINATION OF ORNAMENTAL FENCING OR A BRICK WALL AND LANDSCAPING SUCH THAT A SOLID, CONTINUOUS WISUAL SOREEN IS PROVIDED, UNLESS ADDITIONAL REQUIREMENTS ARE MANDATED ELSEWHERE IN THIS DEVELOPMENT CODE. WHEN LANDSCAPING IS UTILIZED IN COMBINATION WITH ORNAMENTAL FENCING, TREES AND/OR SHRUBS, SUCH MATERIALS SHALL BE ADEQUATELY SPACED TO FORM A SOLID, CONTINUOUS WISUAL SOREEN WITHIN ONE (1) YEAR AFTER THE INITIAL INSTALLATION.	33 LINEAR FEET OF SURFACE PARKING VISIBLE FROM PUBLIC STREET	PARKING AREAS SCREENED WITH EVERGREEN SHRU		
185.11	BUFFERING AND SCREENING BETWEEN DISTRICTS AND USFS	A BUFFER YARD SHALL BE REQUIRED WHEN: A. A LOT IN ANY BUSINESS, OFFICE, PUBLIC FACILITIES OR	870 LINEAR FEET OF LOT AND/OR BUILDING WALL VISIBLE FROM ADJACENT RESIDENTIAL	PROPOSED MIXTUR OF DECIDUOUS AN EVERGREEN TREES		
	0323	MIXED USE OVERLAY DISTRICT ABUTS A RESIDENTIAL DISTRICT;	PROPERTY RESIDENTIAL	SPACED AT A DISTANCE NOT TO		
		B. WHEN ANY WALL OF A NON-RESIDENTIAL BUILDING IN A BUSINESS, OFFICE, PUBLIC FACILITIES, OR MIXED USE OVERLAY DISTRICT FACES OR IS ACROSS THE STREET FROM A RESIDENTIAL DISTRICT, SCREENING SHALL BE INSTALLED ALONG THE FULL LENGTH OF SUCH STREET FRONTAGE. NO SCREENING SHALL BE REQUIRED WHEN THE BUSINESS, PUBLIC FACILITIES, OR MIXED USE OVERLAY DISTRICT LOT IS EITHER NOT IN USE OR IS USED FOR RESIDENTIAL PURPOSES.		EXCEED 12—FT ON CENTER.		
		SCREENING WITHIN THE BUFFER YARD SHALL CONSIST OF ONE OR MORE OR COMBINATION THEREOF OF THE FOLLOWING:				
		A DENSE VEGETATIVE PLANTING INCORPORATING TREES AND/OR SHRUBS OF A VARIETY WHICH SHALL BE EQUALLY EFFECTIVE IN WINTER AND SUMMER. TREES AND/OR SHRUBS SHALL BE ADEQUATELY SPACED TO FORM A SOLID, CONTINUOUS VISUAL SCREEN WITHIN ONE (1) YEAR AFTER THE INITIAL INSTALLATION. AT A MINIMUM, AT THE TIME OF PLANTING, THE SPACING OF TREES SHALL NOT EXCEED TWELVE (12) FEET ON CENTER, AND THE PLANTING PATTERN SHALL BE STAGGERED. SHRUBBERY SHALL BE MORE CLOSELY SPACED.				
		HEIGHT OF SCREENING				
		WHEN USED ALONE, VEGETATION SHALL BE A MINIMUM OF SIX (6) FEET HIGH, AS MEASURED FROM THE NATURAL GRADE ON ANY ADJACENT RESIDENTIAL LOT, IN ORDER TO ACCOMPLISH THE DESIRED SCREENING EFFECT. THE REQUIRED HEIGHT SHALL BE ACHIEVED NO LATER THAN ONE (1) YEAR AFTER THE INITIAL INSTALLATION.				
185.13	SCREENING OF ACCESSORY USES	SCREENING OF ACCESSORY USES SHALL BE PROVIDED ACCORDING TO THE FOLLOWING:	20 LINEAR FEET OF GROUND-MOUNTED MECHANICAL EQUIPMENT (TRANSFORMER)	TRANSFORMER SCREENED WITH EVERGREEN SHRUI		
		GROUND-MOUNTED MECHANICAL EQUIPMENT.	REQUIRED TO BE SCREENED.			
		GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED WITH EVERGREEN PLANT MATERIAL SO THAT WITHIN FOUR (4) YEARS THE EQUIPMENT IS COMPLETELY OBSCURED FROM VIEW.				



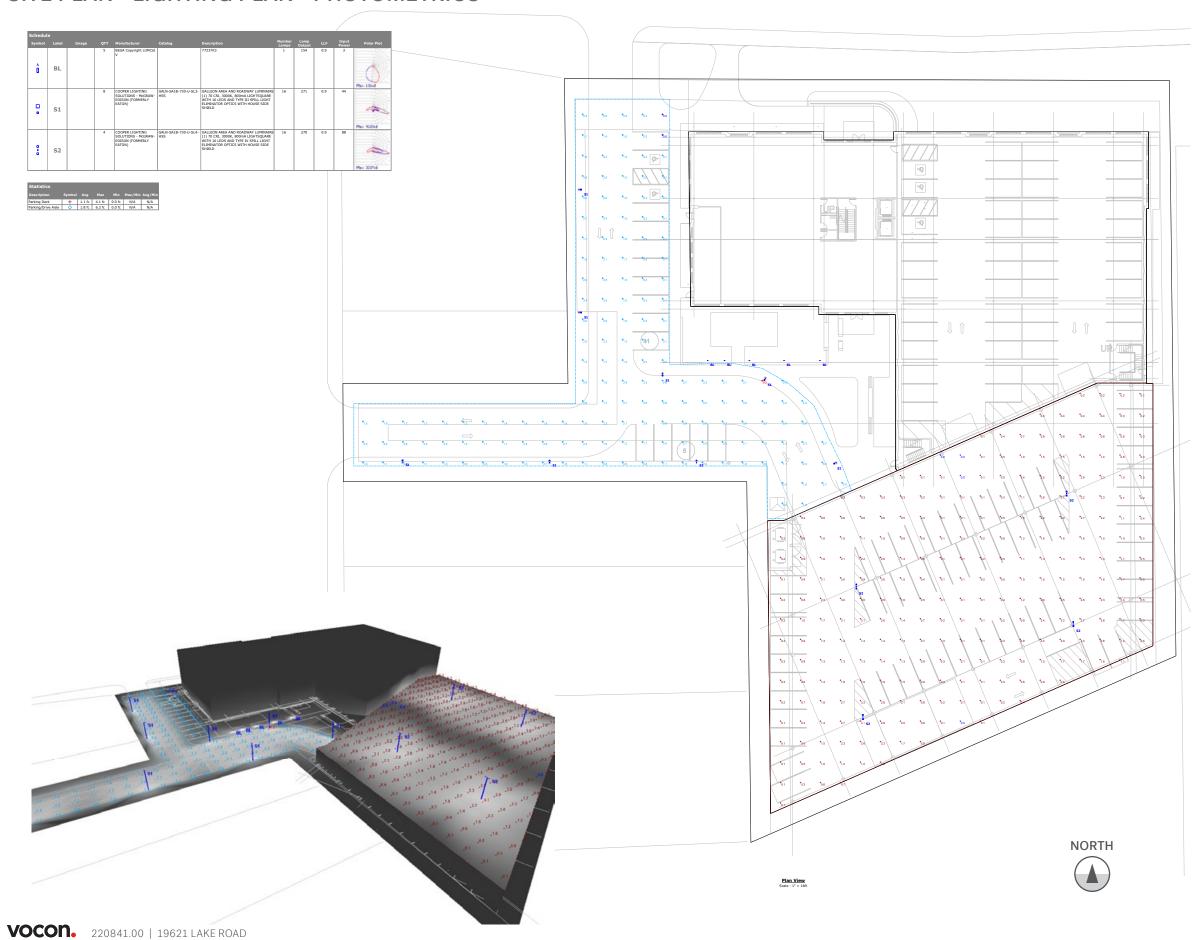
Plant Material Pallet 19621 Lake Road Rocky River, OH

LANGAN 6000 Lombardo Center Suite 210 Cleveland OH 44131 Phone: 216.328.3300 Fax: 216.328.330

SITE PLAN - LIGHTING PLAN



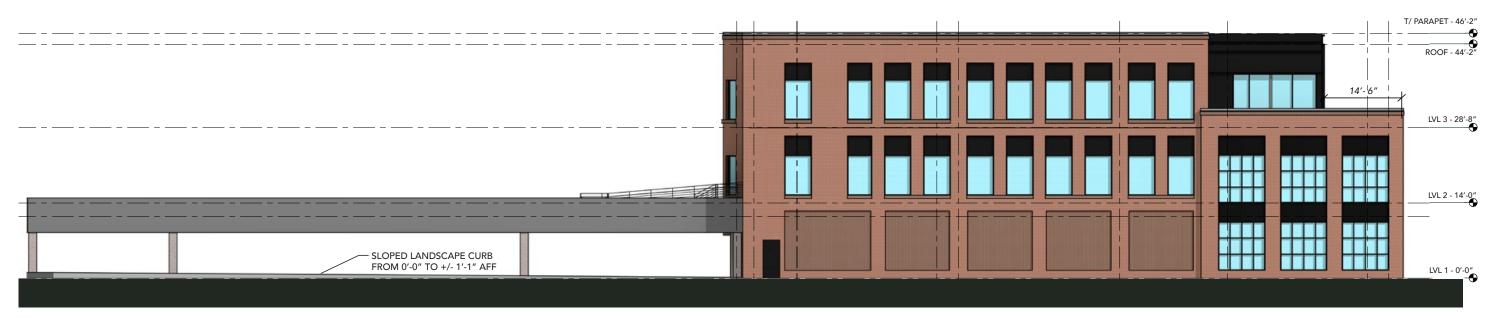
SITE PLAN - LIGHTING PLAN - PHOTOMETRICS



EXTERIOR ELEVATIONS



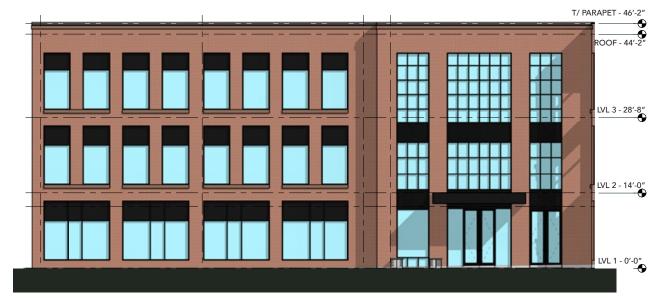
North Elevation



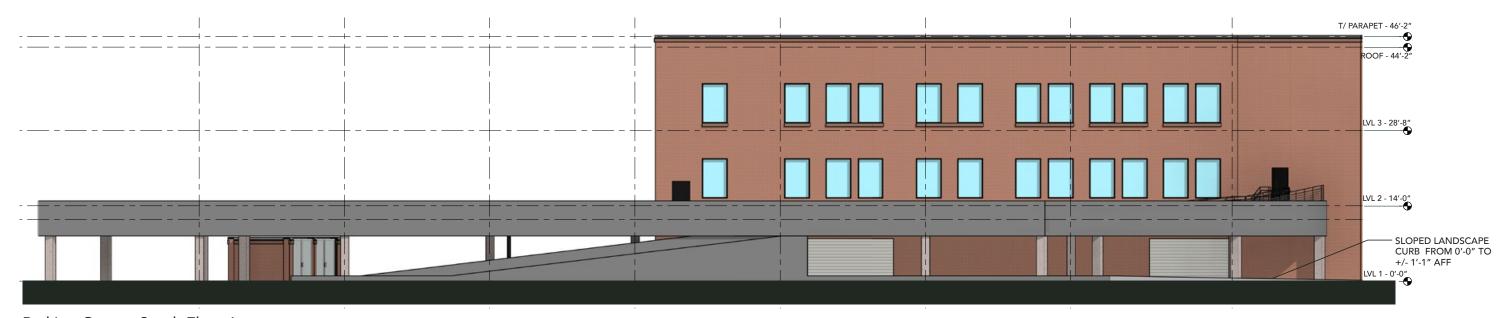
East Elevation

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EXTERIOR ELEVATIONS



South Elevation



APRIL 4, 2023 | 16

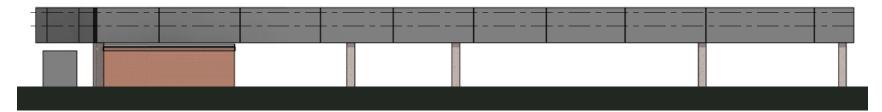
Parking Garage South Elevation

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EXTERIOR ELEVATIONS



West Elevation



Parking Garage West Elevation



STOREFRONT - BLACK FINISH

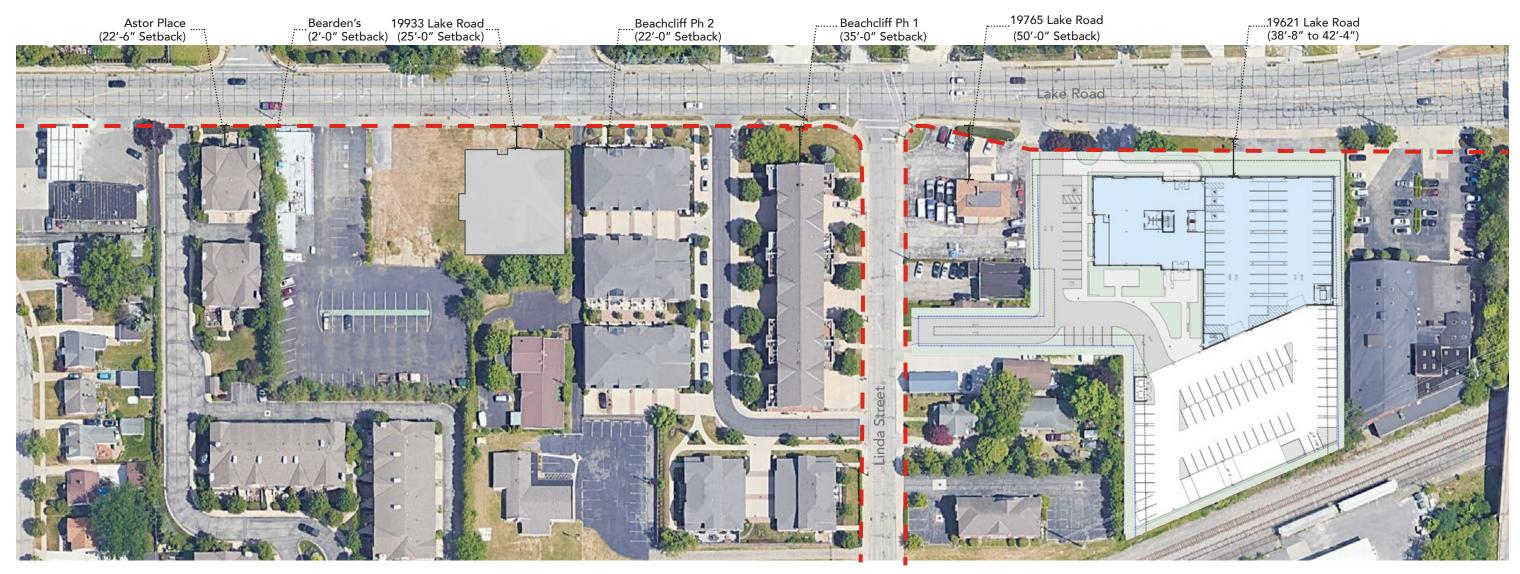


FLUSH METAL PANEL - BLACK FINISH



BRICK

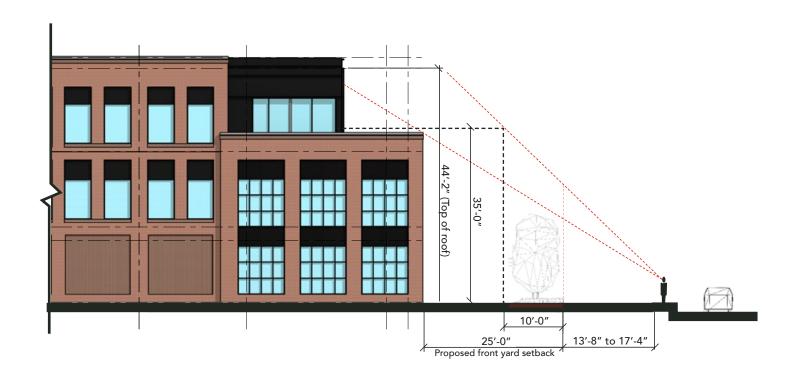
SITE CONTEXT - FRONT YARD SETBACK FROM LAKE ROAD

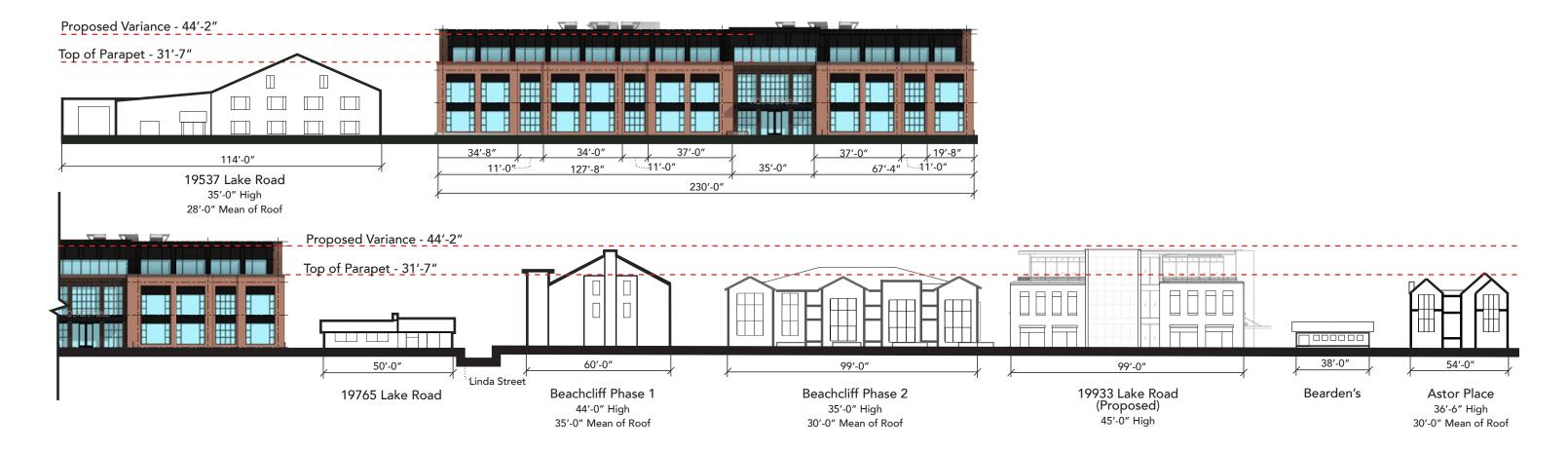


– – – Indicates ROW

Setbacks measured from building face to southern face of sidewalk

SITE CONTEXT - LAKE ROAD ELEVATION





SITE CONTEXT - ROOF TOP UNIT VISIBILITY



View of North Facade



View of Northeast corner from Lake Road



View of Northwest corner from Lake Road



View of West Elevation

EXTERIOR RENDERINGS - East Facade



EXTERIOR RENDERINGS - Northeast Corner



EXTERIOR RENDERINGS - Lake Road Entrance



EXTERIOR RENDERINGS - Northwest Corner



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EXTERIOR RENDERINGS - Northwest Corner



EXTERIOR RENDERINGS - Northwest Corner - Detail



EXTERIOR RENDERINGS - Southwest Corner



EXTERIOR RENDERINGS - South Entrance





LET YOUR SPACES SPEAK.